



## SECTION 6. DESIGN GUIDELINES

The Riverwalk Vista design guidelines have been prepared to provide the framework for high quality design within the Project Site and to consider project wide issues as well as site specific issues. The guidelines express the desired character of future development and address site planning, architecture, and landscaping. Riverwalk Vista is designed to be an integrated residential community. Common development features such as signage, landscape and hardscape, walls and fences, and architecture are controlled throughout the development to provide unity and express a strong collective design statement.

The Design Guidelines establish development criteria to ensure a unified environment within the master plan. This document is not intended to limit innovative design, but rather to provide clear direction and design criteria.

The goals of the Riverwalk Vista Design Guidelines are as follows:

- To provide the City of Riverside with the necessary assurances that development within the master planned community will attain the desired level of quality;
- To serve as design criteria for use by planners, architects, landscape architects, engineers, builders and future property owners;
- To provide guidance to City Staff, Planning Commission and the City Council when reviewing future development within the Specific Plan area; and
- To provide a viable framework and clear direction without limiting the creativity of the designer, to avoid unnecessary delays.

The following guidelines apply to all uses within the Riverwalk Vista Specific Plan:

### *6.1. SITE DESIGN CONSIDERATIONS*

- a. The proposed development shall be of a quality and character that is consistent with the City of Riverside design goals and policies including but not limited to scale, height, bulk, materials, cohesiveness, colors, roof pitch, roof eaves and the preservation of privacy.
- b. The design shall improve the overall appearance of the development by avoiding excessive variety and monotonous repetition.



- c. Proposed signage and landscaping shall be an integral architectural feature that does not overwhelm or dominate the structure or property.
- d. Lighting shall be stationary and deflected away from all adjacent properties, public streets and rights-of-way.
- e. Mechanical equipment, storage, trash areas, and utilities shall be architecturally screened from public views.
- f. Both sides of all perimeter wall or view fences shall be architecturally treated when visible to public view.
- g. Public bus shelters shall be designed in a manner compatible with the overall character and architecture represented in Riverwalk Vista.

## *6.2 RESIDENTIAL ARCHITECTURAL GUIDELINES*

Based on the existing character and building development history of the area, several architectural themes are appropriate for the Riverwalk Vista residential community. Although these styles have historical reference, other themes that can be derived from the area's agrarian past may also be considered. Distinguishing characteristics of each architectural style envisioned for Riverwalk Vista are described below and in Tables 6 through 8 which follow.

### *Ranch / Agricultural Theme*

- Horizontal emphasis of building forms
- Low character enhanced through the use of low plate lines and low-pitched roofs
- Frequently feature covered front porches, often covered with a broken-pitch roof
- Flat shake-like concrete roof tiles
- Use of materials and details providing a rustic appearance

### *Spanish Adobe*

- Red tile sloping roofs with large overhangs
- Stucco walls
- Courtyards
- Trellises
- Punched Windows



- Brightly colored ceramic tile as accents
- Arcades

#### *Mediterranean*

- Combination of one and two-story building masses, often asymmetrical in form
- Gable and cross-gable roof forms, with the occasional use of hip roof forms
- Low pitched tiled roofs with minimum overhangs
- Articulation to building forms using tower elements or arcades
- Often feature arched elements at principal doors and/or windows
- Decorative elements such as patterned tiles, grille work, shutters are often used

#### *Craftsman*

- Horizontal character to building forms
- Low pitched gable roof forms with unenclosed eave overhangs
- Primary roof forms covering porch elements
- Decorative use of cross beams, braces, and rafter tails
- Often feature tapered columns and pilasters
- Brick or stone elements visually anchoring the building mass to the ground plane

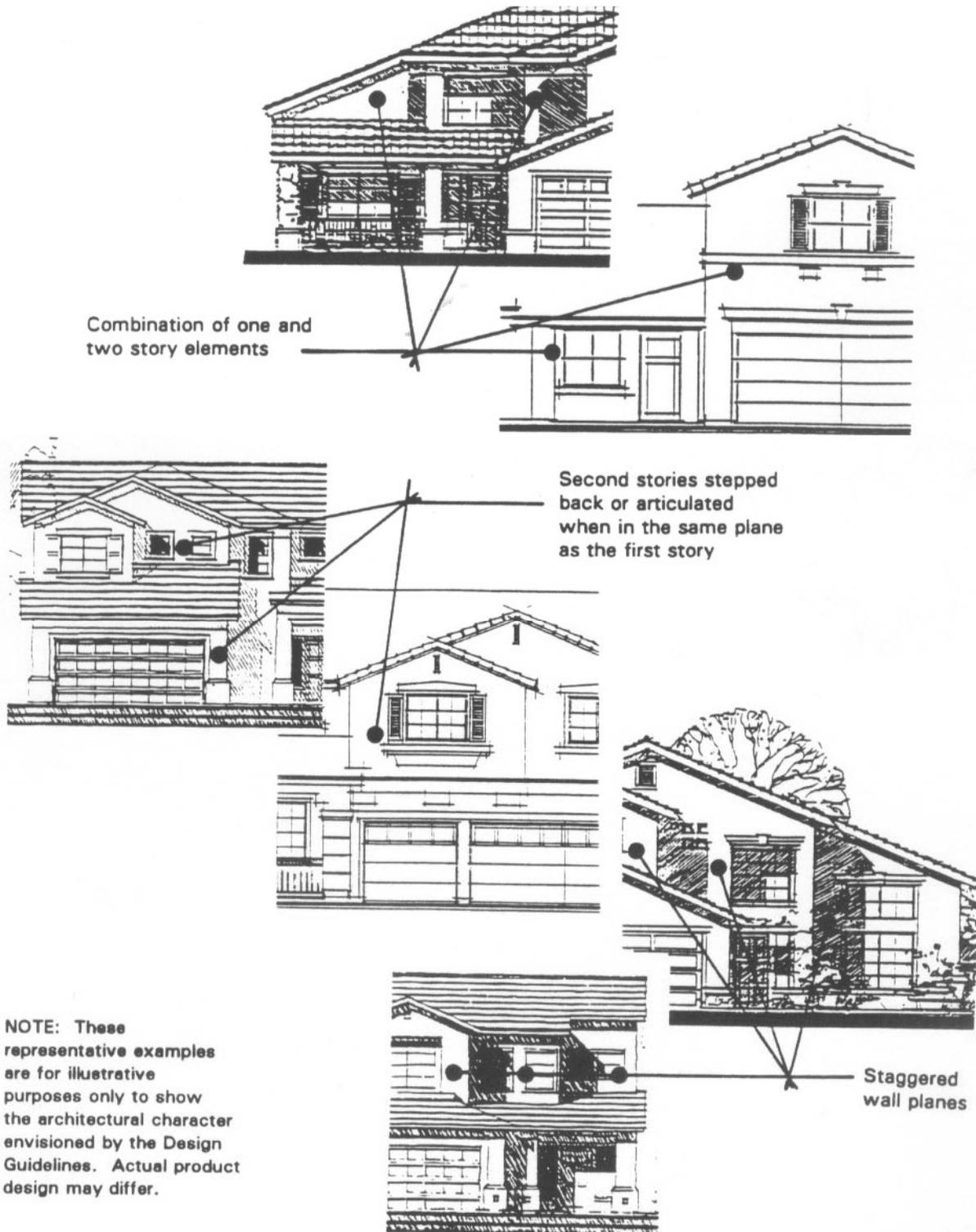
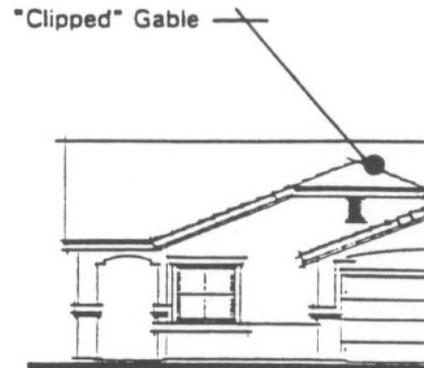


Exhibit 36, "Building Façade Vignettes"  
Section 6. Design Guidelines



Gable Roof



Roof pitches between  
4:12 and 8:12

**NOTE:** These representative examples are for illustrative purposes only to show the architectural character envisioned by the Design Guidelines. Actual product design may differ.



Concrete or Clay Tiles



Roof overhangs  
extending over porches  
or entry elements



Exhibit 37, "Building Façade Vignettes"  
Section 6. Design Guidelines



**NOTE:** These representative examples are for illustrative purposes only to show the architectural character envisioned by the Design Guidelines. Actual product design may differ.



Porches or courtyards integrated with the architecture of the building

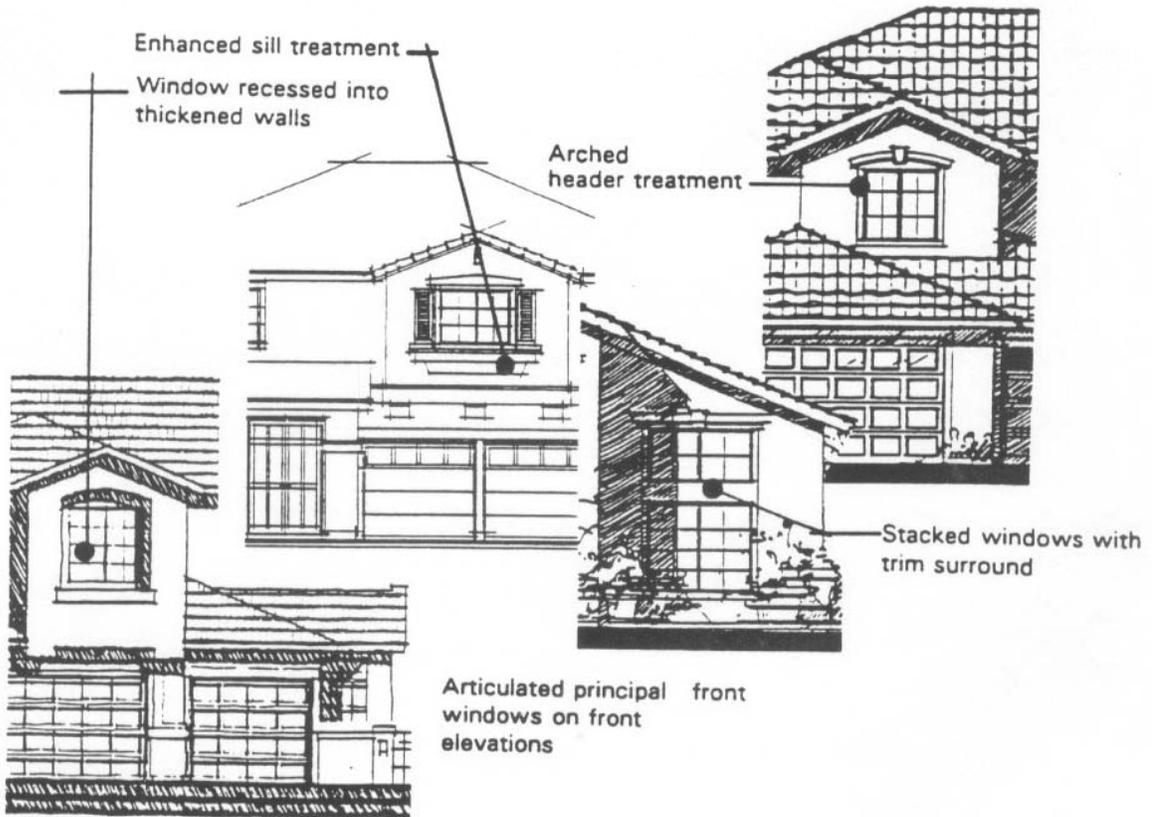


Exhibit 38, "Features and Accents Vignettes"  
Section 6. Design Guidelines





**TABLE 6 SINGLE FAMILY DETACHED DESIGN GUIDELINE MATRIX – VILLAGE 1**

<b>ARCHITECTURAL STYLE</b>	
Architectural styles permitted within Single Family Detached neighborhoods	Ranch Spanish Adobe  Mediterranean Craftsman
<b>FLOOR PLANS / ELEVATIONS</b>	
Floor Plans / Elevation Options	Single Family Detached neighborhoods shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.
<b>BUILDING MASSING AND SCALE</b>	
Single Story Elements:	<ol style="list-style-type: none"> <li>1) At least 15% of the dwellings within a subdivision must be single story; <b>OR</b></li> <li>2) At least 15% of the dwellings within a subdivision must have a building mass which combines single story and two story building forms; <b>OR</b></li> <li>3) A combination of 1) and 2) above totaling at least 15% of the dwellings within the subdivision.</li> </ol>
Staggered Wall Planes	<p>No building wall facing a public street or adjacent residential uses outside of Riverwalk Vista, shall extend more than 25' vertically or horizontally without a visual break created by a minimum 2' offset in the exterior wall or created by architectural detailing.</p> <ul style="list-style-type: none"> <li>• Single Story Units</li> </ul> <p>No more than 75% of the front elevation can be composed of a single wall plane.</p> <ul style="list-style-type: none"> <li>• Two Story Units</li> </ul> <p>No more than 60% of the front elevation can be composed of a single wall plane.</p>
<b>WINDOW OPENINGS</b>	
Front Elevations	<p>At least one principal window recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection is 12") And one of the following:</p> <ul style="list-style-type: none"> <li>• Extended roof overhangs at principal windows (Minimum Overhang: 12")</li> <li>• Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6")</li> <li>• Shutters at principal windows</li> </ul>



Side and Rear Elevations –  
2<sup>nd</sup> story windows which are visible from  
perimeter streets, community open space  
or other public spaces

A principal window created in one of the following ways is  
required:

- Being recessed into thickened walls or projected  
forward of the wall plane (Min. Recess or Projection  
6")
- Extended roof overhangs at principal window  
(Minimum Overhang: 12")
- Shutters at Principal window
- Trim surrounds, headers, or sills at all windows  
(Minimum Trim Material 2" x 6")

#### BUILDING MATERIAL & COLOR BLOCKING

Any elevation visible from interior streets,  
perimeter streets, community open space  
or other public spaces

Material and color blocking shall not terminate at an outside  
corner

#### COLOR SCHEMES

Number of color schemes required:

4 color schemes (min.) per subdivision. Each color scheme  
shall have at least 3 colors, including:

- Base Color 70% Maximum (Front Elevation)
- Accent -
- Trim

-

#### ROOFS

Main Roof Form	Percent of Units
Side / Side Gable	45% Max.
Front / Rear Gable	45% Max.
Hip / Partial Hip	45% Max.

Roof Pitch 4:12 to 8:12

Roof Overhang

- Roof eaves shall have a minimum of 12" overhang; or  
may be reduced to a 6" overhang when a  
corresponding fascia element 12" or greater in height  
is provided.
- Rakes may be tight or have a 12" overhang as  
appropriate to the architectural style of the  
residence.

Roof Material

- Concrete or Clay Tiles in shapes consistent with the  
selected architectural style.

Roof Finish

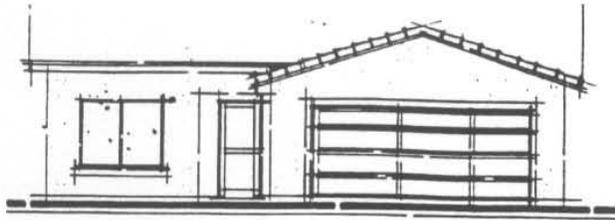
- Matte finish to minimize glare



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Skylights	<ul style="list-style-type: none"><li>• Framing material shall be colored to match the adjoining roof.</li><li>• White dome skylights are not permitted.</li></ul>
Mechanical Equipment	<ul style="list-style-type: none"><li>• Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface</li></ul>
<b>MISCELLANEOUS</b>	
Light and Glare	<ul style="list-style-type: none"><li>• Street lighting shall be per City standards</li><li>• Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.</li></ul>
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.

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**SINGLE STORY**

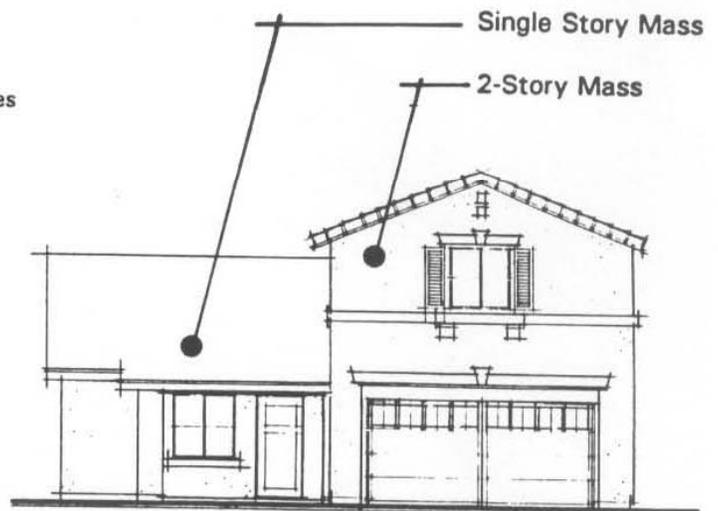
1) At least 15% of the dwellings within a subdivision must be single story;

OR

2) At least 15% of the dwellings within a subdivision must have a building mass which combines single story and two story building forms;

OR

3) A combination of 1) and 2) above totalling at least 15% of the dwellings within the subdivision.



**COMBINATION  
SINGLE STORY & TWO STORY**

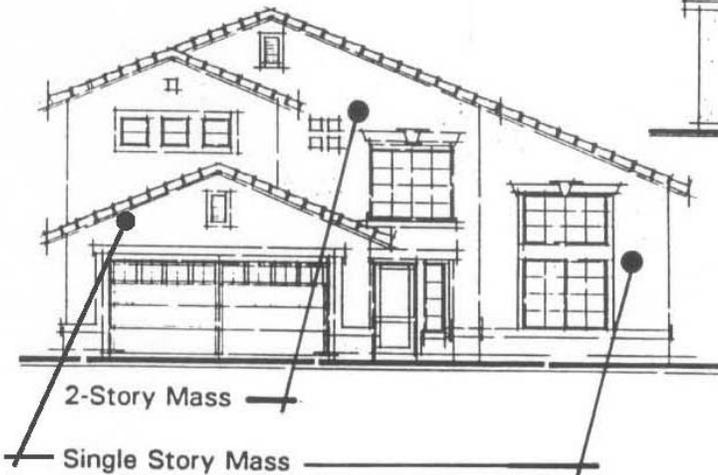
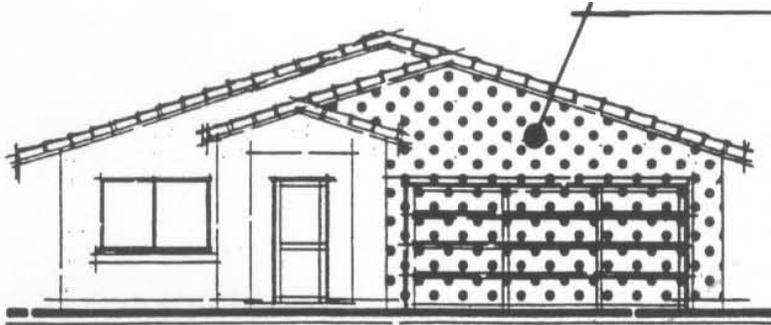


Exhibit 40, "Village 1: Building Massing/Single-Story Elements"  
Section 6. Design Guidelines



**SINGLE STORY UNITS**  
No more than 75% of  
the front elevation can  
be composed of a single  
wall plane.

**SINGLE STORY**

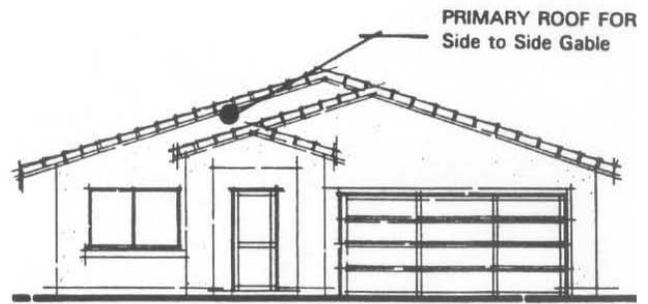
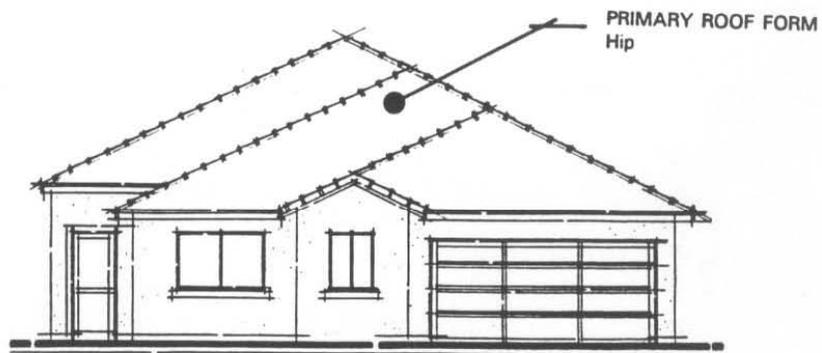
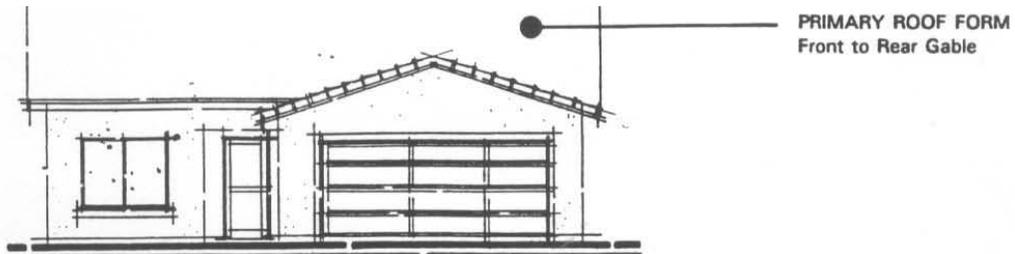
**TWO STORY UNITS**  
No more than 60% of  
the front elevation can  
be composed of a single  
wall plane.



**TWO STORY**

**NOTE**  
Minimum vertical or  
horizontal offset is 2'.

Exhibit 41, "Village 1: Staggered Wall Planes"  
Section 6. Design Guidelines



The primary roof form is a key element in creating diversity and visual interest to the street scene. In order to ensure that this diversity is achieved, the primary roof forms must meet these minimum requirements:

Side/Side Gable	Max. 45% of units in subdivision
Front/Rear Gable	Max. 45% of units in subdivision
Hip/Partial Hip	Max. 45% of units in subdivision

Exhibit 42, "Village 1: Primary Roof Forms"  
Section 6. Design Guidelines



TABLE 7 SINGLE FAMILY DETACHED CLUSTER DESIGN MATRIX – VILLAGE 2

ARCHITECTURAL STYLE	
Architectural styles permitted within Single Family Detached Cluster neighborhoods	Ranch Spanish Adobe  Mediterranean Craftsman
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	SFD Cluster neighborhoods shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.
BUILDING MASSING AND SCALE	
Single Story Elements:	At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).
Staggered Wall Planes	No building wall facing a public street or adjacent residential uses outside of Riverwalk Vista, shall extend more than 25' vertically or horizontally without a visual break created by a minimum 1' offset in the exterior wall or created by architectural detailing. No more than 60% of the front elevation on a 2-story residence can be composed of a single wall plane.
WINDOW OPENINGS	
Front Elevations	Front elevations must feature at least one of the following: <ul style="list-style-type: none"> <li>Extended roof overhangs at principal windows (Minimum Overhang: 12")</li> <li>Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6")</li> <li>Shutters at principal windows</li> </ul>
Side and Rear Elevations - 2nd story windows which are visible from perimeter streets, community open space or other public spaces	A principal window as one of the following is required: <ul style="list-style-type: none"> <li>Recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 6")</li> <li>Extended roof overhangs at principal window (Minimum Overhang: 12")</li> <li>Shutters at Principal window</li> <li>Trim surrounds, headers, or sills at all windows. (Minimum Trim Material 2" x 6")</li> </ul>
BUILDING MATERIAL & COLOR BLOCKING	
Any elevation visible from interior streets, perimeter streets, community open space or other public spaces	Material and color blocking shall not terminate at an outside corner.



**COLOR SCHEMES**

Number of color schemes required:	4 color schemes (min.) per subdivision. Each color scheme shall have at least 3 colors, including: Base Color 70% Maximum (Front Elevation) Accent - Trim -
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**ROOFS**

Main Roof Form	Percentage of Units
Side / Side Gable	45% Max.
Front / Rear Gable	45% Max.
Hip / Partial Hip	45% Max.

Roof Pitch	4:12 to 8:12
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Roof Overhang	Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
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Roof Material	Concrete or Clay Tiles in shapes consistent with the selected architectural style.
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Roof Finish	Matte finish to minimize glare
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Skylights	Framing material shall be colored to match the adjoining roof. White dome skylights are not permitted.
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Mechanical Equipment	Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface
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**MISCELLANEOUS**

Light and Glare	Street lighting shall be per City standards. Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.
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Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.
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Single Story  
Element



Single Story  
Element

At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).

Single Story  
Element



Exhibit 43, "Village 2: Building Massing/Single-Story Elements"  
Section 6. Design Guidelines



On two story units,  
no more than 60% of  
the front elevation  
can be composed of  
a single wall plane

Varying wall  
planes



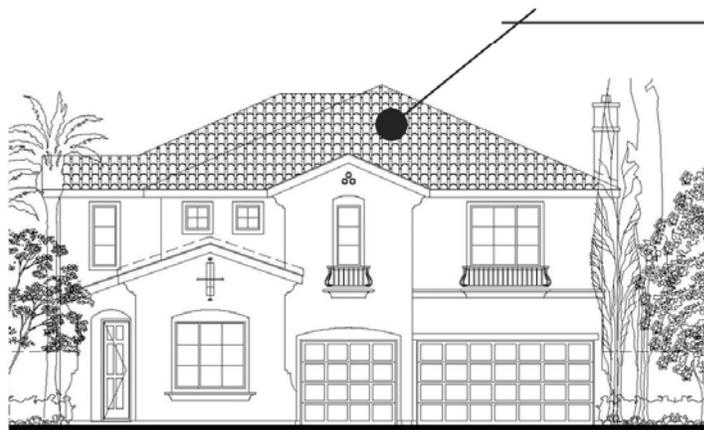
Varying wall planes,  
no more than 60% as  
a single wall plane



Exhibit 44, "Village 2: Staggered Wall Planes"  
Section 6. Design Guidelines



Primary Roof Form  
Front to Rear Gable  
Max. 45% of units



Primary Roof Form  
Hip  
Max. 45% of units

The primary roof form is a key element in creating diversity and visual interest to the street scene. In order to ensure that this diversity is achieved, the primary roof forms must meet the minimum requirements as noted.



Primary Roof Form  
Side to Side Gable  
Max. 45% of units

Exhibit 45, "Village 2: Primary Roof Forms"  
Section 6. Design Guidelines



Table 8 Single Family Detached Cluster Patio Homes Design Matrix – Village 3

ARCHITECTURAL STYLE	
Architectural styles permitted within Single Family Detached Cluster neighborhoods	Ranch Spanish Adobe Mediterranean Craftsman
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	SFD Cluster Patio neighborhoods shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.
BUILDING MASSING AND SCALE	
Single Story Elements:	At least 15% of the dwellings within a subdivision shall have single story element (porch element qualifies).
Staggered Wall Planes	No more than 60% of the front elevation can be composed of a single wall plane.
WINDOW OPENINGS	
Front Elevations	Front elevations must feature at least one of the following: <ul style="list-style-type: none"> <li>Extended roof overhangs at principal windows (Minimum Overhang: 12")</li> <li>Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6")</li> <li>Shutters at principal windows</li> </ul>
Side and Rear Elevations - 2nd story windows which are visible from perimeter streets, community open space or other public spaces	A principal window as one of the following is required: <ul style="list-style-type: none"> <li>Recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 6")</li> <li>Extended roof overhangs at principal window (Minimum Overhang: 12")</li> <li>Shutters at Principal window</li> <li>Trim surrounds, headers, or sills at all windows. (Minimum Trim Material 2" x 6")</li> </ul>
BUILDING MATERIAL & COLOR BLOCKING	
Any elevation visible from interior streets, perimeter streets, community open space or other public spaces	Material and color blocking shall not terminate at an outside corner.
COLOR SCHEMES	
Number of color schemes required:	4 color schemes (min.) per subdivision. Each color scheme shall have at least 3 colors, including: Base Color 70% Maximum (Front Elevation) Accent -

Section 6. Design Guidelines



Trim -

**ROOFS**

Roof Pitch	4:12 to 8:12
Roof Overhang	Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
Roof Material	Concrete or Clay Tiles in shapes consistent with the selected architectural style.
Roof Finish	Matte finish to minimize glare
Skylights	Framing material shall be colored to match the adjoining roof. White dome skylights are not permitted.
Mechanical Equipment	Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface

**MISCELLANEOUS**

Light and Glare	Street lighting shall be per City standards. Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.



Single Story  
Element



Single Story  
Element

At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).

Single Story  
Element



Exhibit 46, "Village 3: Building Massing"  
Section 6. Design Guidelines



### 6.3 *COMMERCIAL ARCHITECTURAL DESIGN GUIDELINES*

The architectural theme of commercial areas within Riverwalk Vista should be similar to the blend of traditional and contemporary styles found in the Riverside area. These styles include traditional southwest themes such as Spanish Colonial, California Mission, Pueblo and Territorial. Contemporary architecture found in the Riverside area includes modern interpretations of classical styles. Distinguishing characteristics of commercial architectural style for Riverwalk Vista are described below.

#### 6.3.1 *Form, Height, and Massing*

- a. Architecture should address public areas with high quality materials and should contain architectural elements and other detail relating to the human scale.
- b. Structures should project a "stately" appearance. This requires that groups of buildings be arranged in clusters around elements such as landscaped pedestrian walkways or landscaped areas.
- c. Use of varied roof forms and offsets in the project is encouraged over singular monolithic roofs.
- d. All roof equipment shall be enclosed behind the parapet, in a penthouse or otherwise screened as to not be visible from a public street or right of way.
- e. Retail and restaurant buildings with facades parallel to the street with covered pedestrian arcades are encouraged. Long unarticulated facades should be avoided.

#### 6.3.2 *Materials*

- a. Use of attractive, durable, high quality, weather resistant materials should be required for all visible and weather exposed surfaces on the building exterior.
- b. The use of integrally colored inorganic materials such as brick, concrete, stone, copper, core ten steel, and anodized aluminum are encouraged.
- c. The use of bright vibrant colors and primary colors are acceptable for signage but otherwise should be limited to accents graciously employed.



#### 6.4 *Landscape Design Guidelines*

Riverwalk Vista is a unique project, taking advantage of its natural views and combining them with a mix of informal and formal plantings to instill character and a sense of community. The following design criteria should be used as a guide to create a safe and enjoyable community for all.

In both public and private spaces, the following general criteria should be followed:

- Select plant material that compliments the scale of the architecture
- Select plant material that is considerate of water use and long term maintenance needs
- Use formal plant and tree groupings against community architecture. Tree sizes should be consistent in these spaces.
- Use a combination of formal and informal plant and tree groupings along natural open spaces and trails. In informal areas, tree sizes should vary.
- Buffer undesirable perimeter slope edges by using evergreen trees and shrubs rather than tall, obtrusive walls.
- Consider view opportunities from the neighborhoods to the surrounding landscape. Frame these views rather than leave them completely open.
- Pedestrian connections and residential streets should offer canopy trees and flowering accent trees to provide shade and color.
- Specimen trees (minimum 48" box) should be used at entries, within open space areas, at the end of long streets, and in key planting medians to provide focal points. These trees will help create the feeling of an older, well-established, neighborhood.
- Fountains may be located at the main entries and street entries. Fountains should reflect the character and scale of the neighborhood.

##### 6.4.1 *Streetscapes*

A unified street tree program will be used throughout the community to reinforce the character of Riverwalk Vista. The interior streets consist of a "Main Loop Road" and various interior residential streets. The perimeter streetscapes of Indiana Avenue, Arizona Avenue, Vallejo Street, and La Sierra Avenue, should be developed using the City of Riverside standards. Below are the criteria that should be followed to develop the interior streetscapes of Riverwalk Vista.



### *Main Loop Road*

The Main Loop Road is a key street that serves to link the two main entrances into Riverwalk Vista, the primary entrance at Indiana Avenue and the entrance at La Sierra Avenue. As the primary street running through the development, the Main Loop Road serves to set a relaxed and informal tone that characterizes Riverwalk Vista. Bordered by open space and natural landscaped slopes, the Main Loop Road provides an inviting street scene, as well and encourages a leisurely drive through the community.

Key design elements of the Main Loop Road are as follows:

- Trees along the Main Loop Road provide a consistent flow creating a strong vehicular path.
- Informal and open spacing allows for views of the surrounding area.
- Natural planting along Main Loop Road reinforces the relaxed and informal character of Riverwalk Vista.
- Parkway separated sidewalks provide for a safe and pleasant walk in the shade of trees without obstructing surrounding views.
- Informal groupings of deciduous and evergreen trees along the main road create an aesthetically pleasing streetscape throughout the seasons.
- Active and passive open space with benches and informal garden areas allow for a relaxing stroll through Riverwalk Vista.

### *Interior Residential Streets*

Stemming from the Main Loop Road, the Interior Residential streets provide access to the residential neighborhoods. One of the goals within the Riverwalk Vista Master Plan is to create a walkable interior streetscape, allowing for neighborhood interaction and activity.

Key design elements of the Interior Residential Streetscape are as follows:

- Street trees should be a minimum of 24" box and 30' to 40' on center planted in accordance with the most current City planting standards.
- Street fronting homes encourage friendly interaction between residents and passersby.
- Shaded walks encourage active and social neighborhoods.
- Varied street trees create unique and intimate neighborhoods.



- Open space integrated within interior streets to assist in creating a neighborhood core.

#### *6.4.2 Themed Entries and Community Monuments*

Riverwalk Vista will have two main entries, one along Indiana Avenue and one along La Sierra Avenue. The entries will use a combination of built and natural materials to provide a recognizable gateway to the site. These entries are to include the following:

- Enhanced stone entry walls
- Decorative iron vehicular and pedestrian gates
- Decorative project signage
- Enhanced plant material and specimen trees

In addition to the main entries, an additional monument will be located at the corner of Indiana Avenue and La Sierra Avenue. This monument will serve as the main project announcement and will give identity to the Project Site. Integrated against the backdrop of the large slope area, the monument will include the use of rock and water to create a sublime yet unobtrusive feel to the corner. The use of an informal setting of evergreen and deciduous trees will further enhance the entity and give it a natural feel.

#### *6.4.3 Open Space*

Riverwalk Vista includes a large amount of open space that can be used for both passive and active recreation. The open space areas are linked by trails and sidewalks to create a sense of one cohesive greenspace throughout the community.

In all open space conditions, plant material should be selected using the following criteria:

- Select plant material that is consistent with the scale of the space.
- Use a combination of deciduous and evergreen specimens that compliment the seasonal change of the area.
- Combine plant material of different colors and textures to create visual interest.
- Layer plant material in passive areas to create "garden rooms"



### *Passive Open Space*

Passive open space is located throughout every neighborhood in the community. Elements in these areas are to include:

- Enhanced sidewalks
- Metal or wood benches
- Small traditional garden spaces
- Garden ornament

These spaces can be used for private reflection or can be utilized as meeting points, family picnic areas, or small play areas.

### *Active Open Space*

A primary active open space area will be located just to the south of the main entry off of Indiana Avenue. This primary active open space area may include the following elements:

- A 25 meter junior Olympic size swimming pool
- half-court basketball courts
- Tot lot
- Restrooms
- Fireplace
- Barbecues
- Open turf areas for active play

Other, smaller secondary active open space areas may occur throughout the community. These smaller areas may contain the following elements.

- Tot lots
- Benches
- Large open turf areas for play

#### *6.4.4 Perimeter Conditions*

##### *Walls and Fences*

- Perimeter "green" walls surround the development in order to create a soft appearance yet enhance the natural character of Riverwalk Vista.
- Walls and fences should relate to the style and scale of architecture.
- Privacy walls along Main Loop Road and Interior Residential Streets serve to define private space from public space.



- Wood fences are permitted to enclose the rear and side yards not visible from the project perimeter or interior streets or courts.
- Tubular steel fence along residential property lines at the top of the Main Loop Road allow for maximum exposure to views of the surrounding area.
- View fencing interrupts green walls along the perimeter for peeks into Riverwalk Vista.

### *Slopes*

The perimeter slopes serve as a buffer from the adjacent streets, as well as assist in creating the natural, informal atmosphere of Riverwalk Vista.

Key design elements of the Perimeter Slopes are as follows:

- Slope planting helps to ensure safety and privacy.
- The slopes serve to enhance the natural design character of Riverwalk Vista.
- Openings within the tree groupings allow peeks into and out of the development.
- Informal grouping of deciduous and evergreen trees along perimeter slope serve to create a year round buffer.



**PLANT PALETTE**

**EXTERNAL STREETSCAPE (INDIANA, LA SIERRA, VALLEJO)**

Symbol	Botanical Name	Common Name
	TREES- INDIANA AVENUE <i>Brashea edulis</i>	Guadalupe Palm
	TREES- LA SIERRA AVENUE <i>Pyrus calleryana 'Redspire'</i>	Flowering Pear
	<i>Tristania laurina</i>	Water Gum
	TREES- VALLEJO AVENUE <i>Pyrus calleryana 'Redspire'</i>	Flowering Pear

**LOOP STREET TREES**

Symbol	Botanical Name	Common Name
	<i>Cinnamomum camphora</i>	Camphor Tree
	<i>Podocarpus gracillor</i>	Yew Pine
	<i>Cupaniopsis anacardioides</i>	Carrotwood

**NEIGHBORHOOD STREET TREES**

Symbol	Botanical Name	Common Name
	<i>Melaleuca quinquenervia</i>	Cajuput Tree
	<i>Tristania conferta</i>	Brisbane Box
	<i>Quercus ilex</i>	Live Oak

**COURTYARD TREES**

Symbol	Botanical Name	Common Name
	<i>Pyrus c. 'Bradford'</i>	Bradford Pear
	<i>Pyrus kawakami</i>	Evergreen Pear
	<i>Magnolia spp.</i>	Magnolia

**ENTRIES AND ACCENTS**

Symbol	Botanical Name	Common Name
	<i>Schinus molle</i>	California Pepper
	<i>Populus nigra 'Italica'</i>	Lombardy Poplar
	<i>Jacaranda mimosifolia</i>	Jacaranda

**PERIMETER SCREEN SLOPES**

Symbol	Botanical Name	Common Name
	<i>Pinus spp.</i>	Pine species
	<i>Populus nigra 'Italica'</i>	Lombardy Poplar
	<i>Eucalyptus spp.</i>	Eucalyptus
	<i>Lagerstroemia indica</i>	Grape Myrtle
	<i>Arbutus unedo</i>	Strawberry Tree

**INTERNAL VIEW SLOPES**

Symbol	Botanical Name	Common Name
	<i>Eucalyptus spp.</i>	Eucalyptus
	<i>Pinus spp.</i>	Pine species
	<i>Tristania conferta</i>	Brisbane Box
	<i>Alnus rhombifolia</i>	White Alder
	<i>Schinus molle</i>	California Pepper
	<i>Ulmus parvifolia</i>	Chinese Elm
	<i>Liquidambar styraciflua</i>	American Sweet Gum
	<i>Platanus racemosa</i>	California Sycamore
	<i>Alnus rhombifolia</i>	White Alder

**TRAIL**

Symbol	Botanical Name	Common Name
	<i>Eucalyptus spp.</i>	Eucalyptus
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Tristania conferta</i>	Brisbane Box
	<i>Schinus molle</i>	California Pepper
	<i>Jacaranda mimosifolia</i>	Jacaranda
	<i>Liquidambar styraciflua</i>	American Sweet Gum
	<i>Platanus racemosa</i>	California Sycamore
	<i>Alnus rhombifolia</i>	White Alder

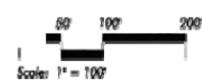
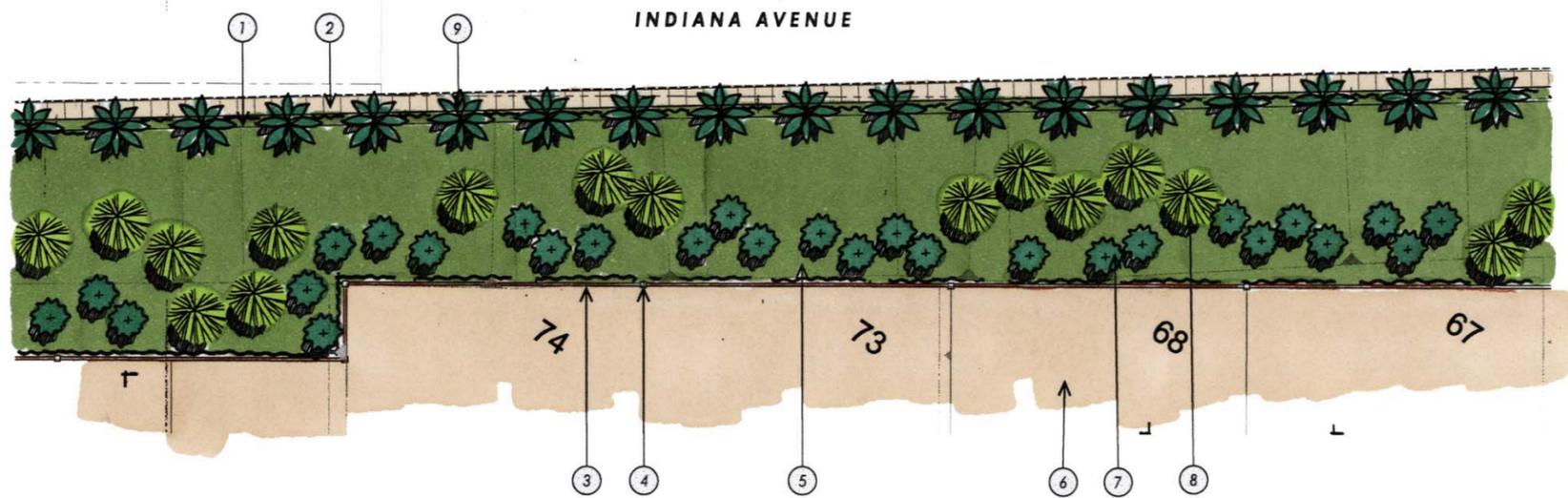


Exhibit 47, "Conceptual Landscape Plan"  
Section 6. Design Guidelines



**A** INDIANA AVENUE  
PLAN VIEW

Scale: 1"=20'

**LEGEND**

1. Right-of-Way
2. 6' Wide Curb Adjacent Walk
3. 6'-10' Tall Block Wall per Specific Plan 5.3.8.e
4. Stone Veneer Column
5. Shrubs/ Groundcover (typical)
6. Production Pads (Lots)
7. Screen Tree
8. Accent Tree
9. Street Tree

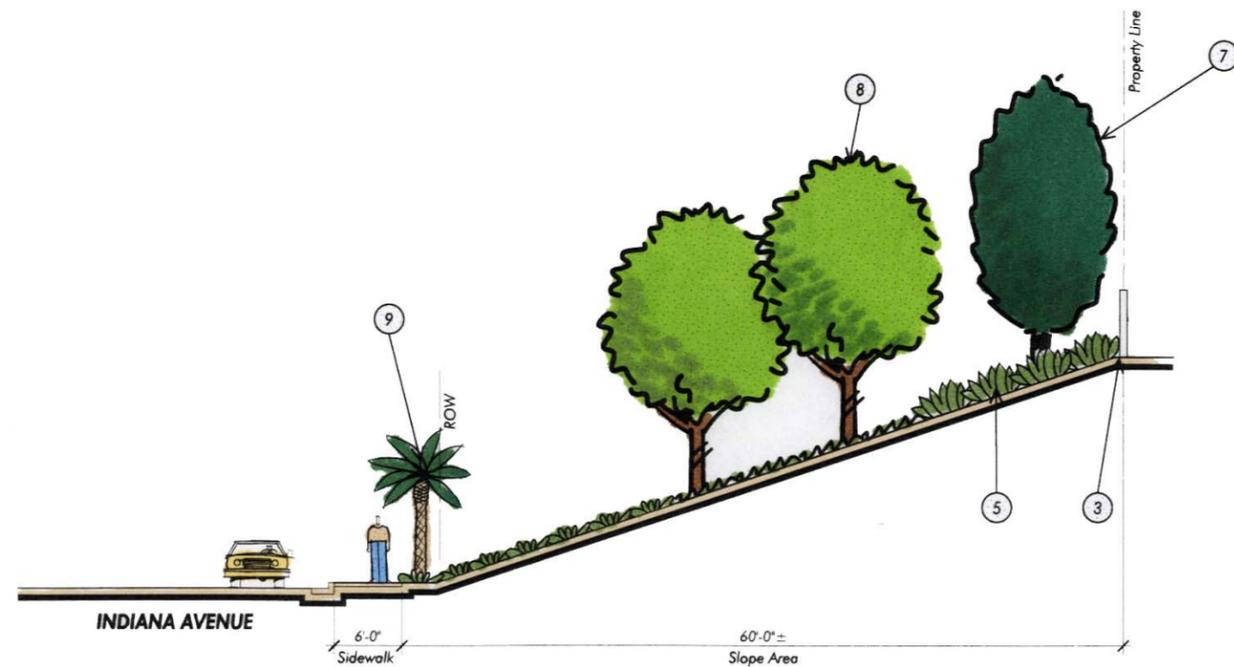
**PLANTING LEGEND**

Sym.	Botanical Name	Common Name
<b>TREES: INDIANA AVENUE STREETSCAPE</b>		
	<i>Brahea edulis</i> (Theme Tree; 30' o.c.)	Guadalupe Palm *theme tree per city as approved
<b>TREES: SLOPES</b>		
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Eucalyptus</i> spp.	Eucalyptus
	<i>Lagerstroemia indica</i>	Crape Myrtle
	<i>Platanus racemosa</i>	California Sycamore
	<i>Alnus rhombifolia</i>	White Alder

**PRELIMINARY PLANT PALETTE**

SHRUBS and GROUND COVER		
	<i>Acacia redolens</i>	Acacia
	<i>Agapanthus africanus</i>	Lily-of-the-Nile
	<i>Baccharis pilularis</i>	Coyote Bush
	<i>Diets bicolor</i>	Fortnight Lily
	<i>Hemerocallis 'Yellow'</i>	Daylily
	<i>Juniperus</i> spp.	Spruce Juniper
	<i>Leptospermum</i> s. 'Ruby Glow'	New Zealand Tea Tree
	<i>Lonicera Japonica</i>	Japanese honeysuckle
	<i>Phormium tenax 'Bronze'</i>	Bronze Flax
	<i>Pittosporum tabira</i>	Tobira
	<i>Rhapiolepis</i> i. 'Clara'	India Hawthorn
	<i>Rosmarinus</i> o. 'Tuscan Blue'	Tuscan Blue Rosemary
	<i>Viburnum suspensum</i>	Sandankwa Viburnum

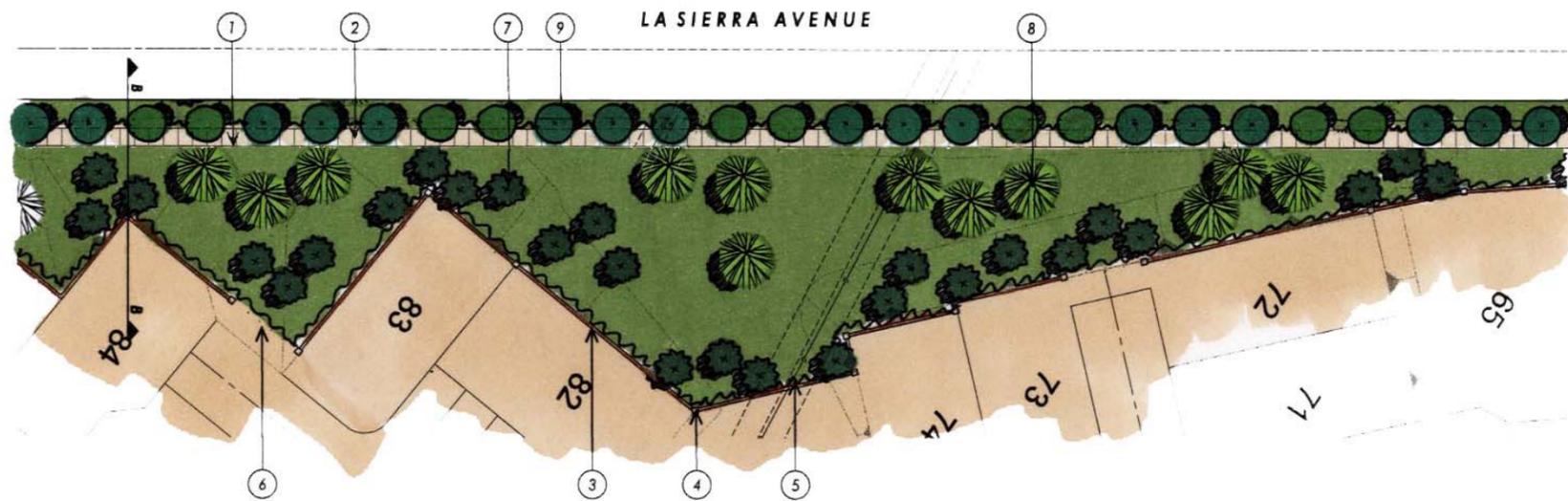
**KEYMAP**



**B** INDIANA AVENUE  
ELEVATION

Scale: 3/16" = 1'-0"

Exhibit 48, "Indiana Avenue Typical Condition"  
Section 6. Design Guidelines



**A** LA SIERRA AVENUE  
PLAN VIEW

Scale: 1" = 20'

**LEGEND**

1. Right-of-Way
2. 6' Wide Walk
3. 6'-10' Tall Block Wall Per Specific Plan 5.8.2(e)
4. 24" Square Stone Veneer Column
5. Shrubs/ Groundcover (typical)
6. 6'-10' max View Fence Per Specific Plan 5.8.2(e)
7. Screen Tree
8. Accent Tree
9. Street Tree Per City of Riverside
10. Multi Purpose Trail
11. Split Rail Fence Per City of Riverside
12. Landscaping Per City of Riverside
13. Concrete Mow-Curb

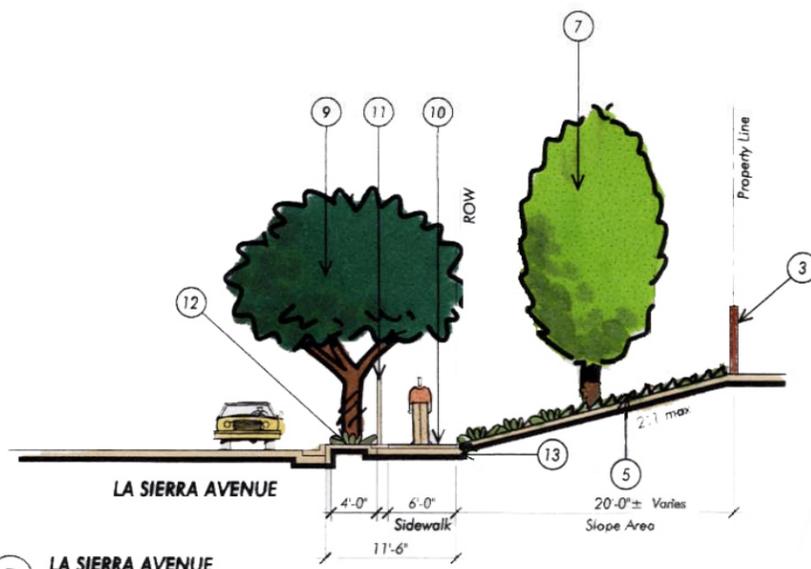
**PLANTING LEGEND**

Sym.	Botanical Name	Common Name
<b>TREES - LA SIERRA AVENUE STREETSCAPE</b>		
	<i>Pyrus calleryana</i> 'Redspire' (Theme Tree; 20' o.c.)	Flowering Pear
	<i>Tristania laurina</i> (Theme Tree; 20' o.c.)	Watering Gum
<b>TREES - SLOPES</b>		
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Eucalyptus</i> spp.	Eucalyptus
	<i>Lagerstroemia indica</i>	Crape Myrtle
	<i>Platanus racemosa</i>	California Sycamore
	<i>Ainus rambutolia</i>	White Alder

**PRELIMINARY PLANT PALETTE**

SHRUBS and GROUND COVER		
	<i>Acacia redolens</i>	Acacia
	<i>Agapanthus africanus</i>	Lily-of-the-Nile
	<i>Baccharis pilularis</i>	Coyote Bush
	<i>Diets bicolor</i>	Fortnight Lily
	<i>Hemerocallis</i> 'Yellow'	Daylily
	<i>Juniperus</i> spp.	Spral Juniper
	<i>Leptospermum</i> s. 'Ruby Glow'	New Zealand Tea Tree
	<i>Lonicera Japonica</i>	Japanese honeysuckle
	<i>Phormium tenax</i> 'Bronze'	Bronze Flax
	<i>Pittosporum tobira</i>	Tabira
	<i>Rhapilepis</i> i. 'Clara'	India Hawthorn
	<i>Rhus integrifolia</i>	Lemonade Berry
	<i>Rosmarinus</i> o. Tuscan Blue	Tuscan Blue Rosemary
	<i>Viburnum suspensum</i>	Sandankwa Viburnum

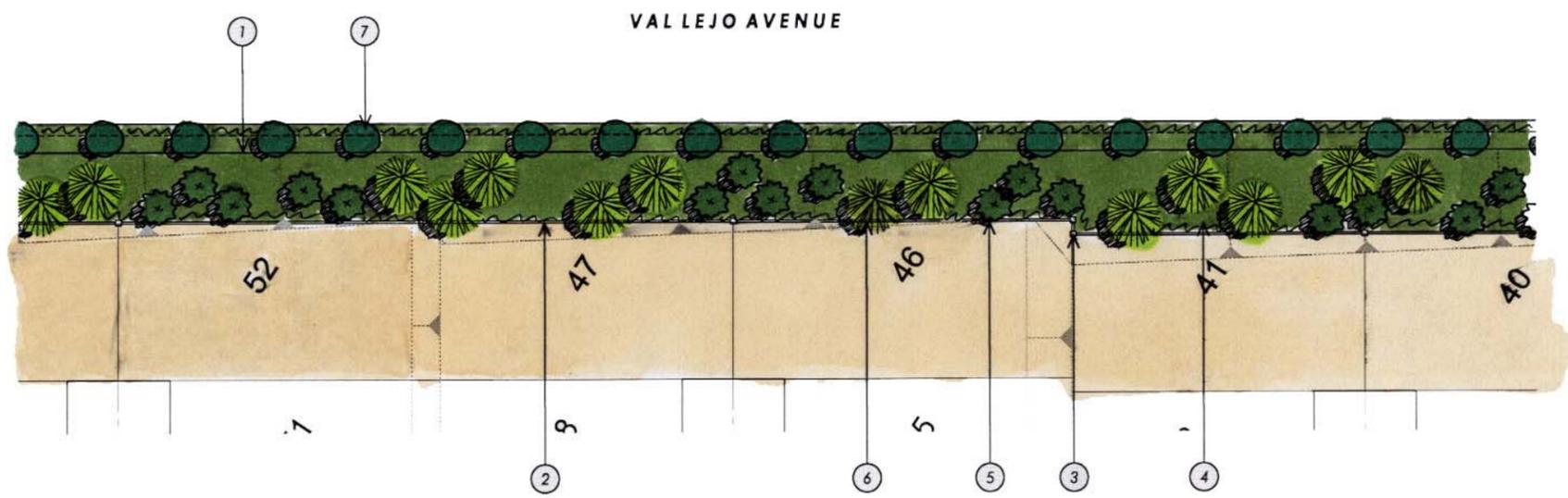
**KEYMAP**



**B** LA SIERRA AVENUE  
ELEVATION

Scale: 3/16" = 1'-0"

Exhibit 49, "La Sierra Street Typical Condition"  
Section 6. Design Guidelines



**A** VALLEJO AVENUE  
PLAN VIEW

Scale: 1"=20'

**LEGEND**

1. Right-of-Way
2. 6- 10' Tall Block Wall
3. 24" Square Stone Veneer Column
4. Shrubs/ Groundcover (typical)
5. Screen Tree
6. Accent Tree
7. Street Tree

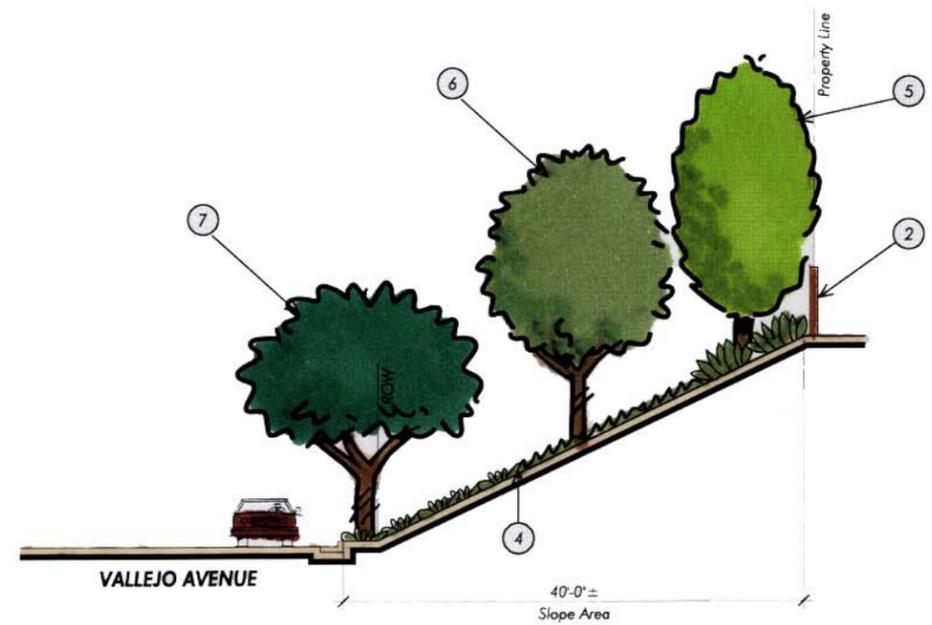
**PLANTING LEGEND**

Sym.	Botanical Name	Common Name
<b>TREES: VALLEJO AVENUE STREETSCAPE</b>		
	<i>Pyrus calleryana</i> 'Redspire' (Theme Tree; 30' o.c.)	Flowering Pear
<b>TREES: SLOPES</b>		
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Eucalyptus</i> spp.	Eucalyptus
	<i>Lagerstroemia indica</i>	Crape Myrtle
	<i>Platanus racemosa</i>	California Sycamore

**PRELIMINARY PLANT PALETTE**

SHRUBS and GROUND COVER		
	<i>Acacia redolens</i>	Acacia
	<i>Agapanthus africanus</i>	Lily-of-the-Nile
	<i>Baccharis pilularis</i>	Coyote Bush
	<i>Diets bicolor</i>	Fortnight Lily
	<i>Hemerocallis 'Yellow'</i>	Daylily
	<i>Juniperus</i> spp.	Sprial Juniper
	<i>Leptospermum</i> s. 'Ruby Glow'	New Zealand Tea Tree
	<i>Lonicera Japonica</i>	Japanese honeysuckle
	<i>Phormium tenax 'Bronze'</i>	Bronze Flax
	<i>Pittosporum tobira</i>	Tobira
	<i>Rhapilepis i. 'Clara'</i>	India Hawthorn
	<i>Rosmarinus o. 'Tuscan Blue'</i>	Tuscan Blue Rosemary
	<i>Viburnum suspensum</i>	Sandankwa Viburnum

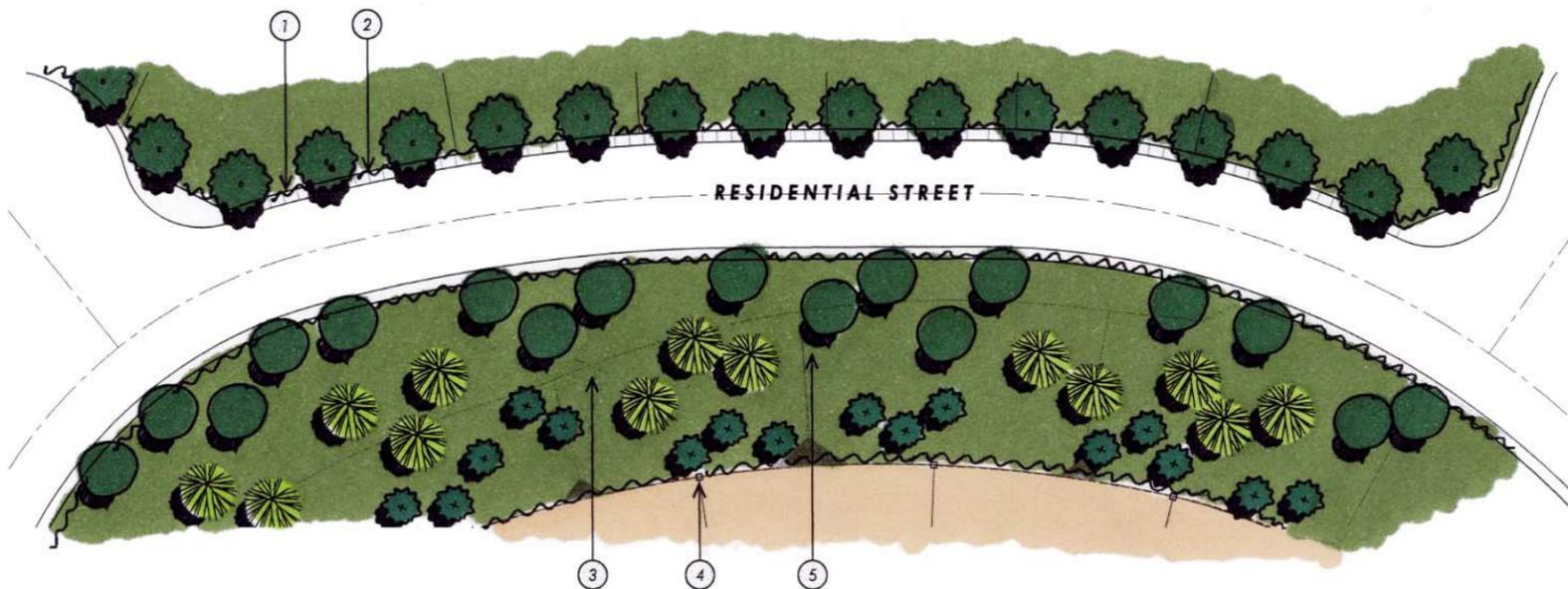
**KEYMAP**



**B** VALLEJO AVENUE  
ELEVATION

Scale: 3/16" = 1'-0"

Exhibit 50, "Vallejo Street Typical condition"  
Section 6. Design Guidelines



**A** RESIDENTIAL STREET  
PLAN VIEW



Scale: 1"=20'

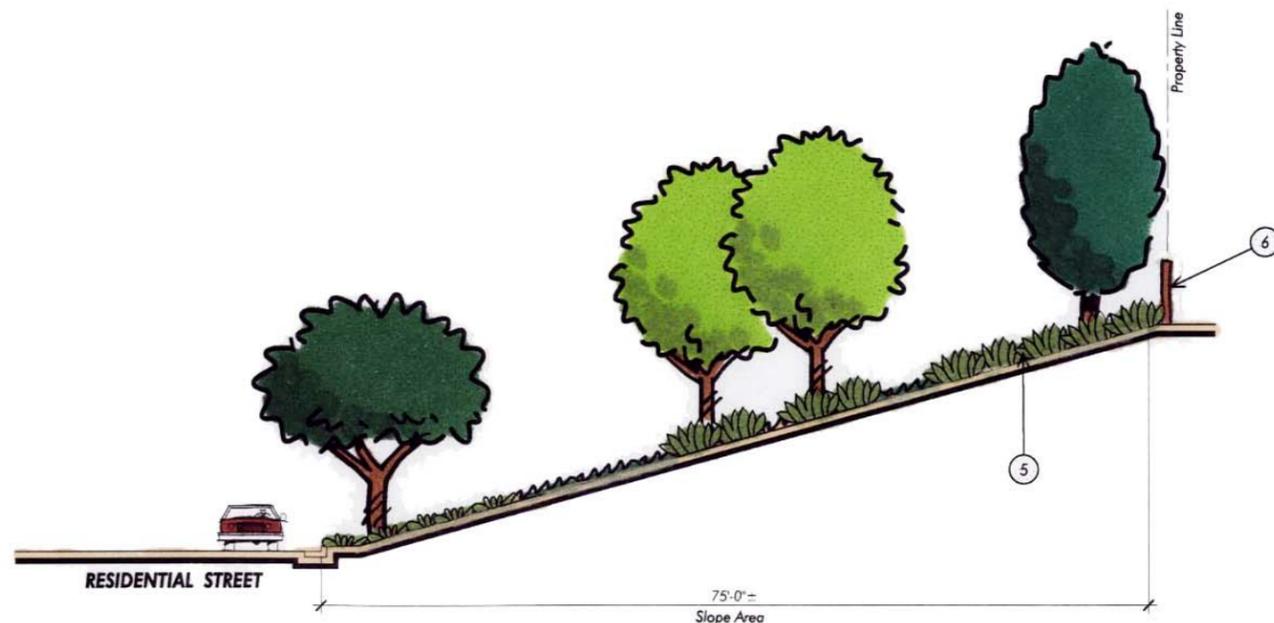
**LEGEND**

1. Right-of-Way
2. 4 Wide Curb Adjacent Walk
3. Slope Area
4. 24" Square Stone Veneer Column
5. Shrubs/ Groundcover (typical)
6. Production Wall

**PLANTING LEGEND**

Sym.	Botanical Name	Common Name
<b>TREES: LOOP STREETSCAPE</b>		
	<i>Cinnamomum camphor</i>	Camphor Tree
	<i>Podocarpus gracilior</i>	Yew Pine
	<i>Cupariopsis anacardioides</i>	Carrotwood
	<i>Alnus sp.</i>	Alder
	<i>Liquidamber styraciflua</i>	American Sweet Gum
	<i>Platanus racemosa</i>	California Sycamore
<b>TREES: SLOPES</b>		
	<i>Schinus molle</i>	California Pepper
	<i>Eucalyptus spp.</i>	Eucalyptus
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Tristania conferta</i>	Brisbane Box
<b>SHRUBS and GROUND COVER</b>		
	<i>Raphiolepis sp.</i>	India Hawthorn
	<i>Rhus integrifolia</i>	Lemonade Berry
	<i>Baccharis pilularis</i>	Coyote Bush
	<i>Rosmarinus 'Tuscan Blue'</i>	Rosemary

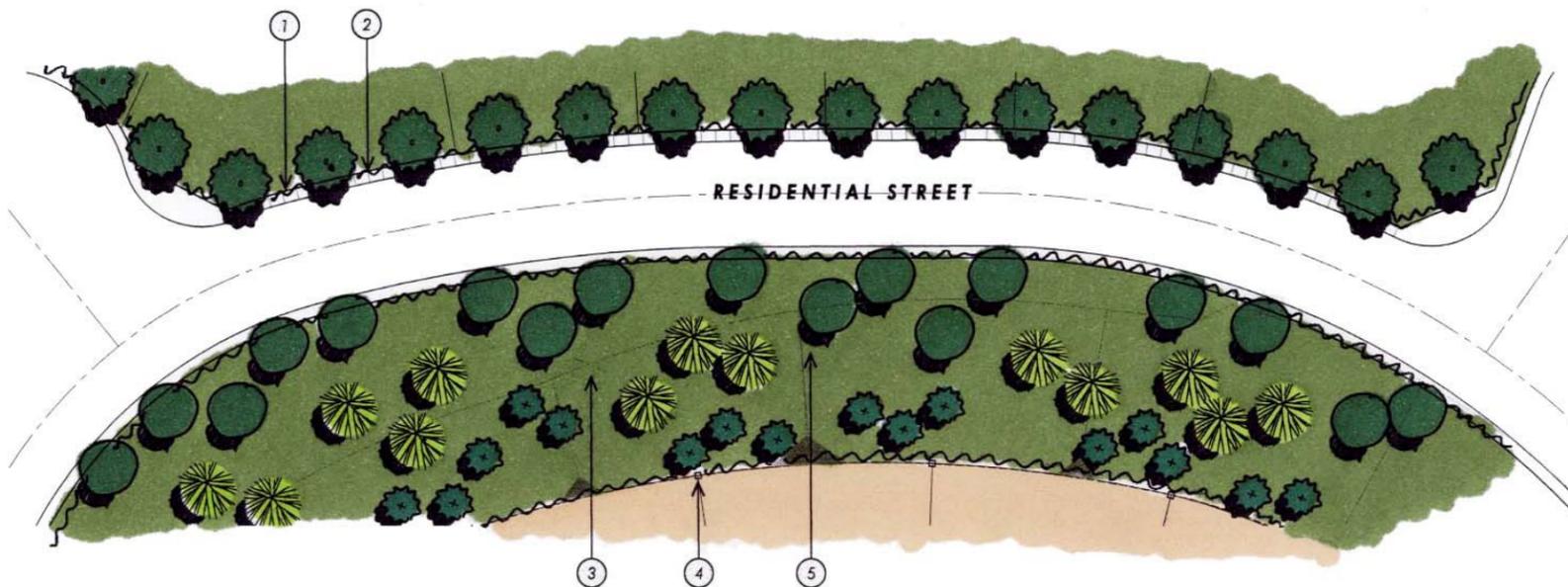
**KEYMAP**



**B** RESIDENTIAL STREET  
ELEVATION

Scale: 3/16" = 1'-0"

Exhibit 51, "Loop Street Typical Condition"  
Section 6. Design Guidelines



**A** RESIDENTIAL STREET  
PLAN VIEW



Scale: 1"=20'

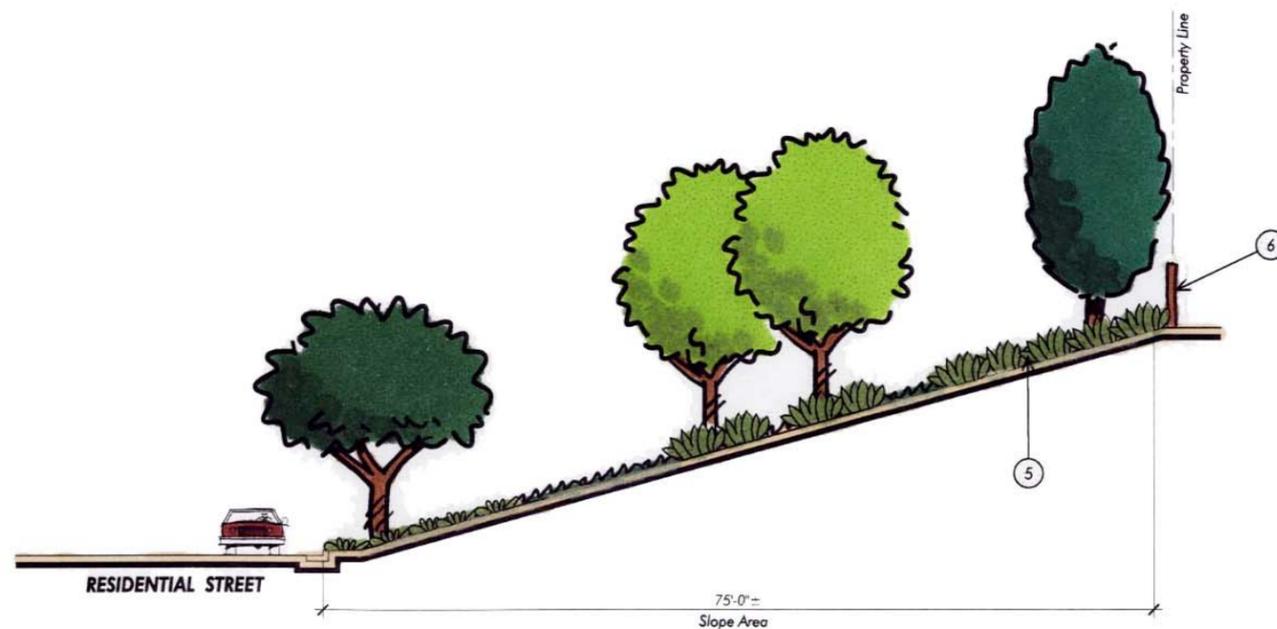
**LEGEND**

1. Right-of-Way
2. 4' Wide Curb Adjacent Walk
3. Slope Area
4. 24" Square Stone Veneer Column
5. Shrubs/ Groundcover (typical)
6. Production Wall

**PLANTING LEGEND**

Sym.	Botanical Name	Common Name
<b>TREES: LOOP STREETSCAPE</b>		
	<i>Cinnamomum camphor</i>	Camphor Tree
	<i>Podocarpus gracilior</i>	Yew Pine
	<i>Cupariopsis anacardiodes</i>	Carrotwood
<b>TREES: SLOPES</b>		
	<i>Alnus sp.</i>	Alder
	<i>Liquidamber styraciflua</i>	American Sweet Gum
	<i>Platanus racemosa</i>	California Sycamore
	<i>Schinus molle</i>	California Pepper
	<i>Eucalyptus spp.</i>	Eucalyptus
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Tristania conferta</i>	Brisbane Box
<b>SHRUBS and GROUND COVER</b>		
	<i>Rhaphiolepis sp.</i>	India Hawthorn
	<i>Rhus integrifolia</i>	Lemonade Berry
	<i>Baccharis pilularis</i>	Coyote Bush
	<i>Rosmarinus 'Tuscan Blue'</i>	Rosemary

**KEYMAP**

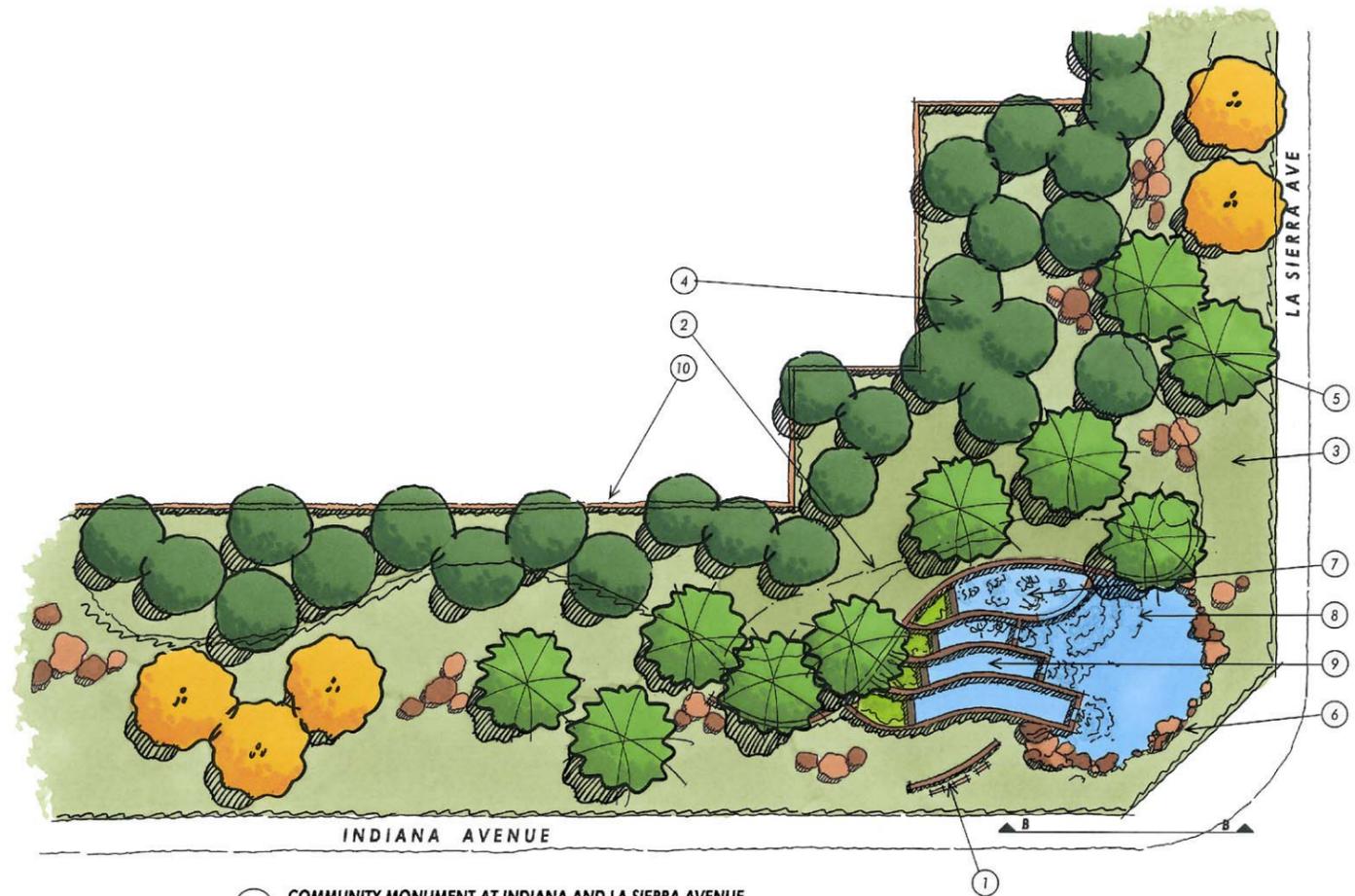


**B** RESIDENTIAL STREET  
ELEVATION

Scale: 3/16" = 1'-0"



Exhibit 52, "Interior Street Typical Condition"  
Section 6. Design Guidelines



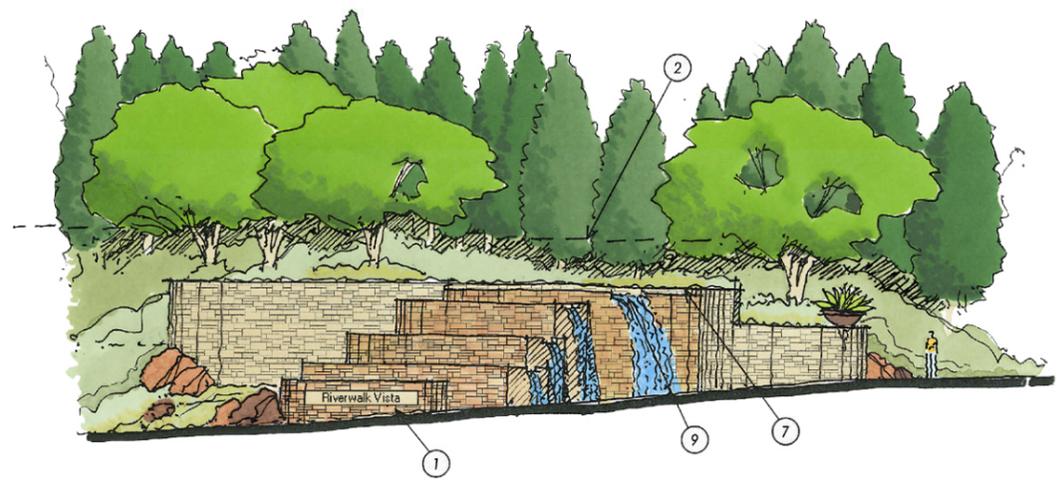
**A** COMMUNITY MONUMENT AT INDIANA AND LA SIERRA AVENUE  
PLAN VIEW

Scale: NTS

**LEGEND**

- 1. Project Signage
- 2. Security Fence and Maintenance Access
- 3. Shrubs and Groundcover
- 4. Evergreen Screen Tree
- 5. Accent Tree
- 6. Rock Outcropping integrated with Walls
- 7. Upper Fountain Reservoir
- 8. Lower Pond
- 9. Fountain Spillways
- 10. Production Wall

**KEYMAP**



**B** COMMUNITY MONUMENT AT INDIANA AND LA SIERRA AVENUE  
ELEVATION

Scale: NTS

Exhibit 53, "Community Monument: La Sierra and Indiana"  
Section 6. Design Guidelines





**LEGEND**

1. Entry Water Feature
2. Call Box and Development Map
3. Production Wall
4. Retaining Wall
5. Stone Veneer Entry Walls
6. Vehicular Gates
7. Pedestrian Gates
8. Recreation Area
9. Evergreen Tree
10. Accent Tree
11. Shrubs and Ground Cover
12. Turf Parkway
13. Street Tree
14. Project Signage

**KEYMAP**

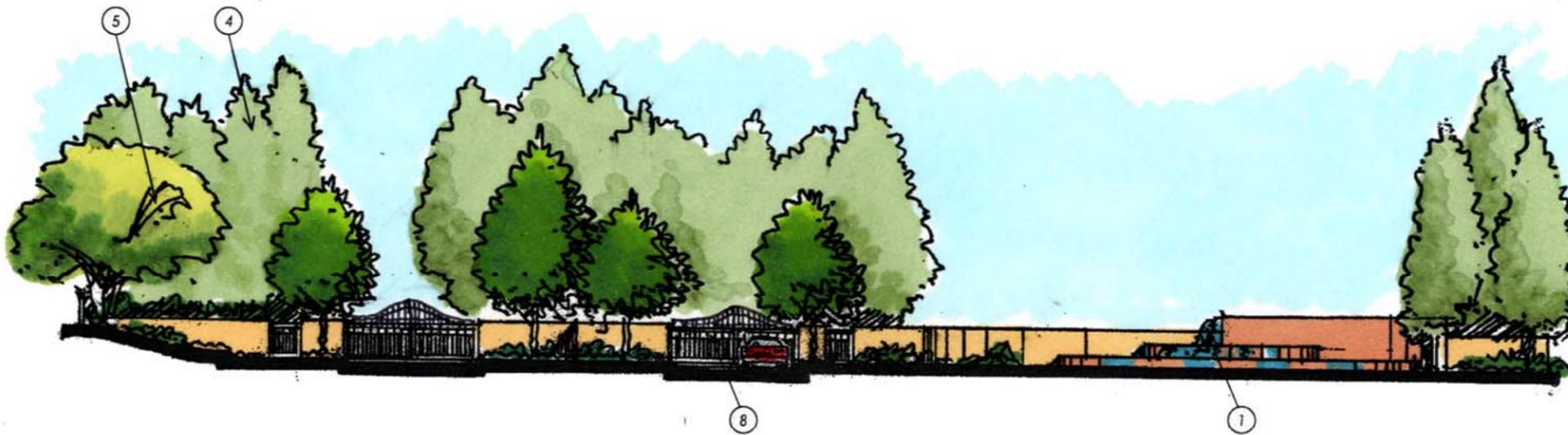


Exhibit 54, "Primary Entry at Indiana Avenue – Plan View"  
Section 6. Design Guidelines



**A** PRIMARY ENTRY AT INDIANA AVENUE  
ELEVATION

N.T.S.



**B** PRIMARY ENTRY AT INDIANA AVENUE  
ELEVATION

N.T.S.

**LEGEND**

1. Entry Water Feature
2. Retaining Wall
3. Pedestrian Gates
4. Screen Tree
5. Accent Tree
6. Theme Tree
7. Project Signage
8. Entry Gate

**PRELIMINARY PLANT PALETTE**

Botanical Name	Common Name
<b>TREES</b>	
<i>Cupaniopsis anacardioides</i>	Carrot Wood
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Palm spp.</i>	Palm
<i>Pinus spp.</i>	Pine
<i>Platanus racemosa</i>	California Sycamore
<i>Podocarpus macrophyllus</i>	Yew Pine
<i>Pyrus spp.</i>	Ornamental Pear
<i>Schinus molle</i>	California Pepper
<i>Tristania conferta</i>	Brisbane Box
<b>SHRUBS and GROUND COVER</b>	
<i>Acacia redolens</i>	Acacia
<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Dietes bicolor</i>	Fortnight Lily
<i>Hemerocallis 'Yellow'</i>	Daylily
<i>Juniperus spp.</i>	Spiral Juniper
<i>Leptospermum s. 'Ruby Glow'</i>	New Zealand Tea Tree
<i>Lonicera japonica 'Halliana'</i>	Japanese Honeysuckle
<i>Phormium tenax 'Bronze'</i>	Bronze Flax
<i>Pittosporum tobira</i>	Tobira
<i>Rhapiolepis i. 'Clara'</i>	India Hawthorn
<i>Rosmarinus o. 'Tuscan Blue'</i>	Tuscan Blue Rosemary
<i>Viburnum suspensum</i>	Sandankwa Viburnum

**KEYMAP**

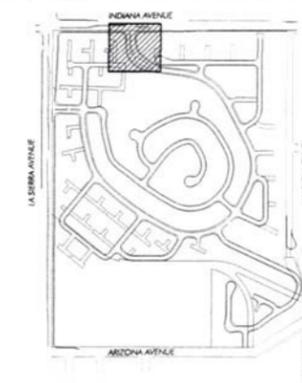
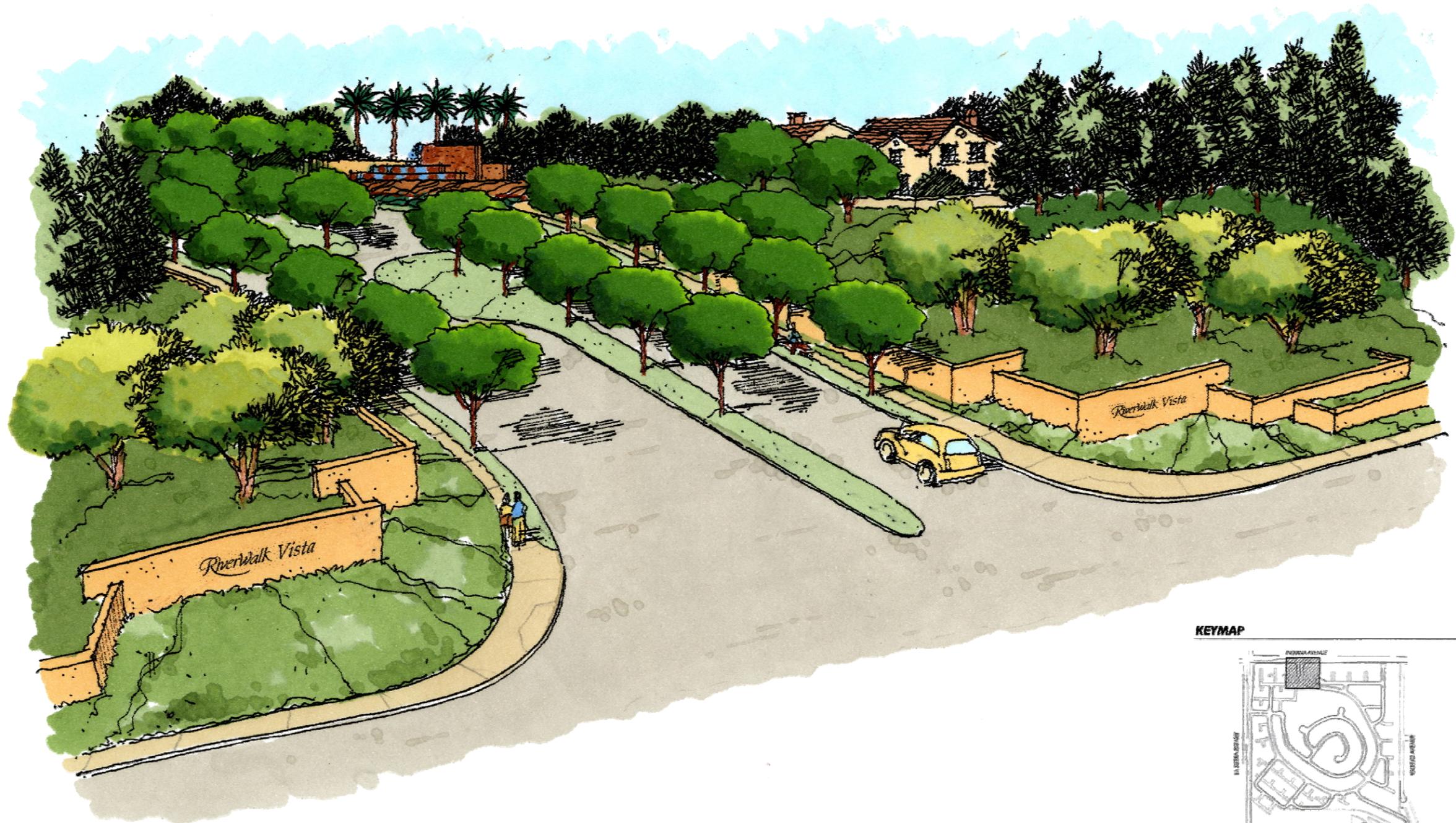


Exhibit 55, "Primary Entry at Indiana Avenue - Elevation"  
Section 6. Design Guidelines



KEYMAP



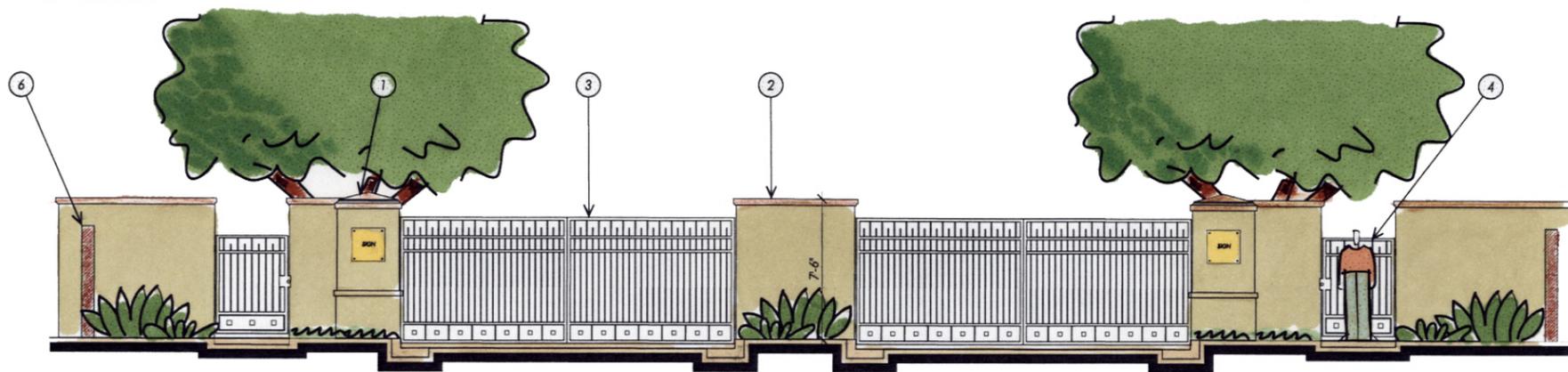
**B** PRIMARY ENTRY AT INDIANA AVENUE  
PERSPECTIVE

Exhibit 56, "Primary Entry at Indiana Avenue"  
Section 6. Design Guidelines



**A** NEIGHBORHOOD ENTRY AT ARIZONA AVENUE  
PLAN VIEW

Scale: 1" = 10'



**B** NEIGHBORHOOD ENTRY AT ARIZONA AVENUE  
ELEVATION

Scale: 3/8" = 1'-0"

**LEGEND**

1. Stone Veneer Column
2. Solid Entry Wall
3. Vehicular Entry Gates
4. Pedestrian Entry Gate
5. Stone Veneer Production Column
6. 6-10' Tall Block Production Wall Per Specific Plan 5.8.2(e).
7. 4' Wide Sidewalk
8. Median
9. Parkway (3min.)

**PLANTING LEGEND**

Botanical Name	Common Name
<b>TREES: ENTRY</b>	
<i>Schinus molle</i>	California Pepper
<i>Ulmus parvifolia</i>	Chinese Elm
<b>TREES: DECIDUOUS PERMITER TREE</b>	
<i>Platanus racemosa</i>	California Sycamore
<i>Liquidambar styraciflua</i>	Sweet Gum
<b>TREES: ACCENT</b>	
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Ficus spp.</i>	Ficus species
<b>TREES: EVERGREEN</b>	
<i>Eucalyptus sp.</i>	Eucalyptus
<i>Pinus eldarica</i>	Afghan Pine

**PRELIMINARY PLANT PALETTE**

SHRUBS and GROUND COVER	
<i>Acacia redolens</i>	Acacia
<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Baccharis pilularis</i>	Coyote Bush
<i>Dietes bicolor</i>	Fortnight Lily
<i>Hemerocallis 'Yellow'</i>	Daylily
<i>Leptospermum s. 'Ruby Glow'</i>	New Zealand Tea Tree
<i>Lonicera Japonica</i>	Japanese honeysuckle
<i>Phormium tenax 'Bronze'</i>	Bronze Flax
<i>Pittosporum tobira</i>	Tobira
<i>Rhapiolepis i. 'Clara'</i>	India Hawthorn
<i>Rosmarinus o. 'Tuscan Blue'</i>	Tuscan Blue Rosemary

**KEYMAP**

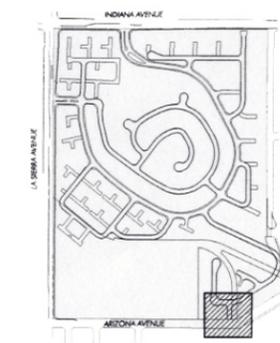
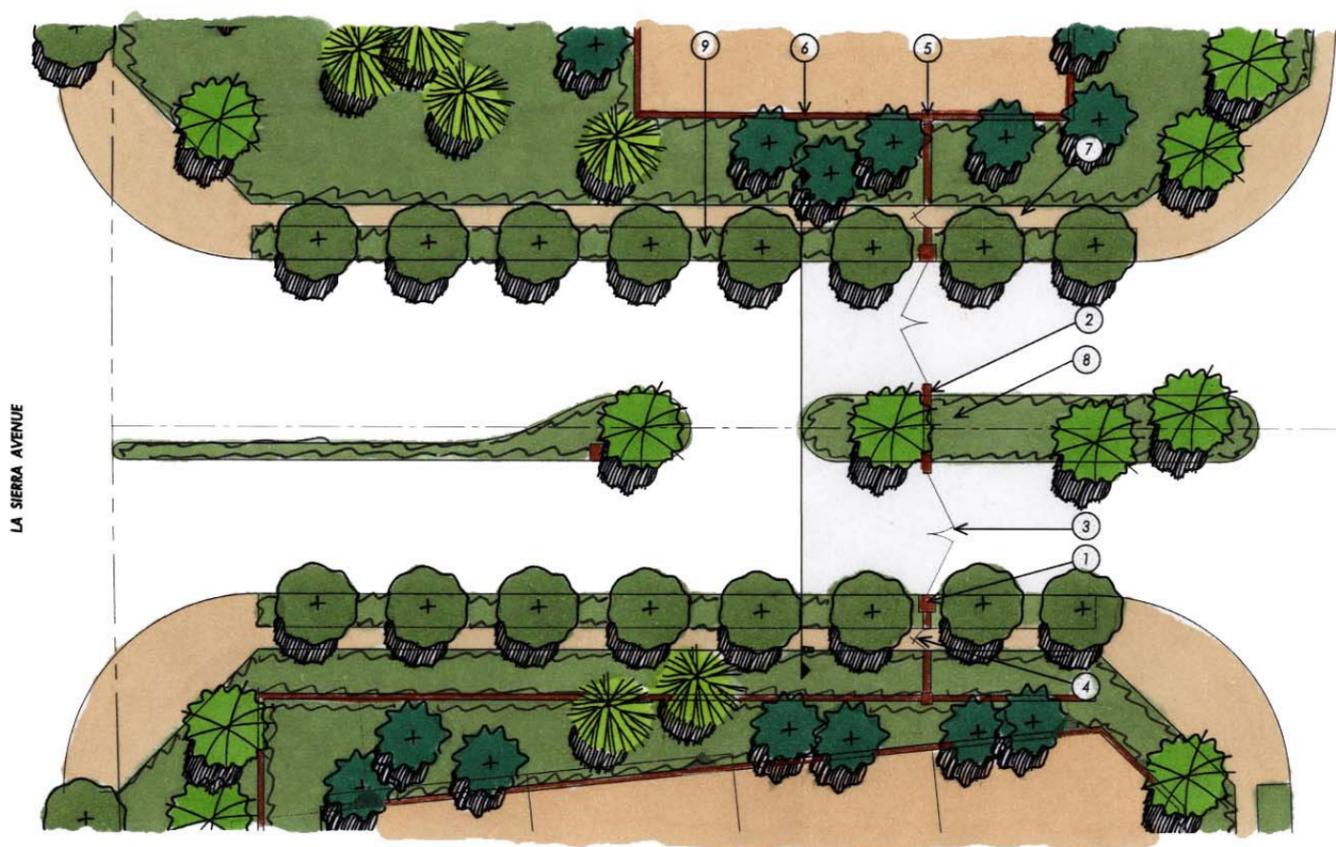


Exhibit 57, "Resident Only Entry at Arizona Avenue"  
Section 6. Design Guidelines



**A** SECONDARY ENTRY AT LA SIERRA AVENUE  
PLAN VIEW

Scale: 1" = 10'

**LEGEND**

1. Stone Veneer Column
2. Solid Entry Wall
3. Vehicular Entry Gates (6'-12' max)
4. Pedestrian Entry Gate
5. Stone Veneer Production Column
6. 6'-10' Tall Block Production Wall per Specific Plan 5.8.2(e).
7. 4' Wide Sidewalk
8. Median
9. Parkway (3' min)

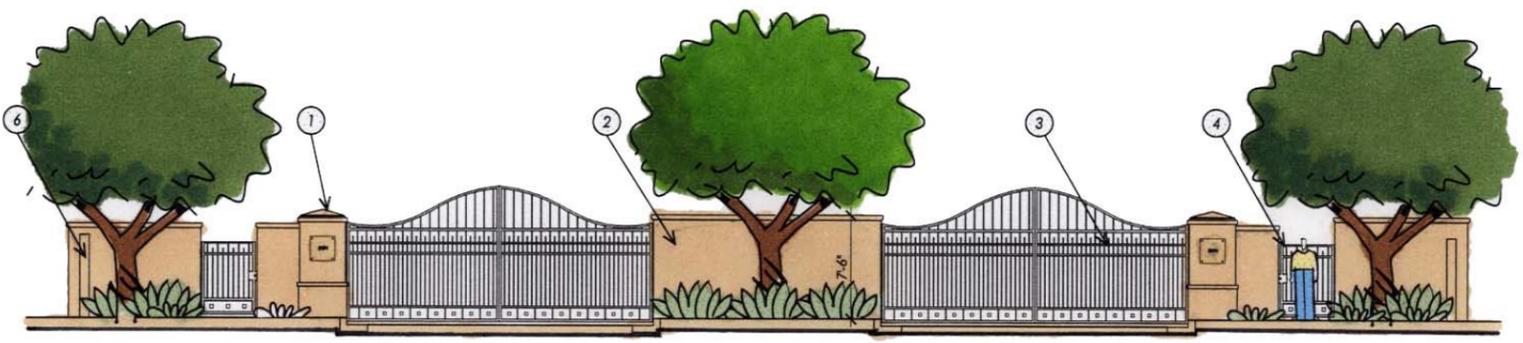
**PLANTING LEGEND**

Botanical Name	Common Name
<b>TREES: ENTRY</b>	
<i>Schinus molle</i>	California Pepper
<i>Ulmus parvifolia</i>	Chinese Elm
<b>TREES: DECIDUOUS PERMIER TREE</b>	
<i>Platanus racemosa</i>	California Sycamore
<i>Liquidambar styraciflua</i>	Sweet Gum
<b>TREES: ACCENT</b>	
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Schinus molle</i>	California Pepper
<b>TREES: EVERGREEN</b>	
<i>Eucalyptus sp.</i>	Eucalyptus
<i>Pinus eldarica</i>	Afghan Pine

**PRELIMINARY PLANT PALETTE**

SHRUBS and GROUND COVER	
<i>Acacia redolens</i>	Acacia
<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Baccharis pilularis</i>	Coyote Bush
<i>Dietes bicolor</i>	Fortnight Lily
<i>Hemerocallis 'Yellow'</i>	Daylily
<i>Leptospermum s. 'Ruby Glow'</i>	New Zealand Tea Tree
<i>Lonicera Japonica</i>	Japanese honeysuckle
<i>Phormium tenax 'Bronze'</i>	Bronze Flax
<i>Pittosporum tobira</i>	Tobira
<i>Rhapiolepis i. 'Clara'</i>	India Hawthorn
<i>Rosmarinus o. 'Tuscan Blue'</i>	Tuscan Blue Rosemary

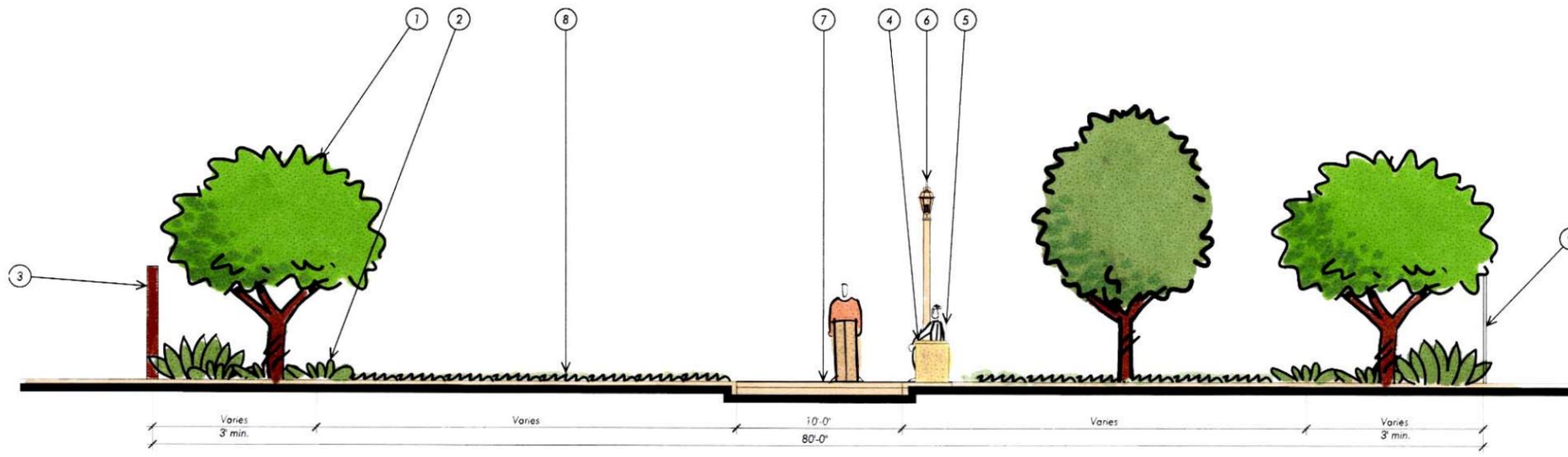
**KEYMAP**



**B** SECONDARY ENTRY AT LA SIERRA AVENUE  
ELEVATION

Scale: 1/4" = 1'-0"

Exhibit 58, "Secondary Entry at La Sierra Avenue"  
Section 6. Design Guidelines

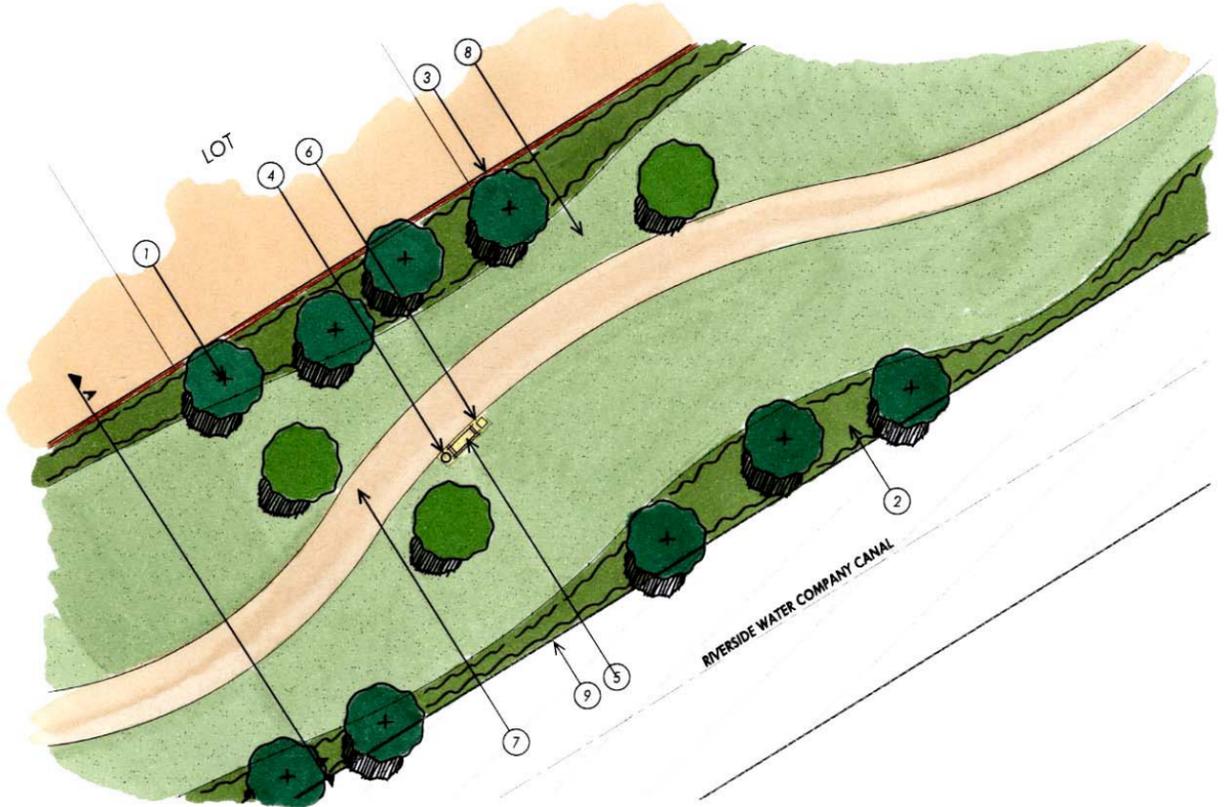


**A** ARIZONA PASEO TRAIL CONNECTION SECTION

Scale: 3/8" = 1'-0"

**LEGEND**

1. Paseo Tree
2. Planting Area (3' min to 9' max)
3. 6 - 10' Tall Block Production Wall Per Specific Plan 5.8.2(e).
4. Trash Receptacle
5. Concrete Bench
6. 12' Light Standard
7. 10' Wide Meandering Trail
8. Hydroseeded Turf
9. Chain Link Fence



**B** ARIZONA PASEO TRAIL CONNECTION PLAN VIEW TYPICAL

Scale: 1" = 10'

**KEYMAP**



Exhibit 59, "Arizona Paseo Trail Connection"  
Section 6. Design Guidelines