

# General Plan Housing Element Update 2006-2014

Citizen's Advisory Committee (CAC)

Meeting #1

August 18, 2008

# Agenda

- ◆ Introductions
- ◆ Role of Citizens Advisory Committee (CAC)
- ◆ Discussion of Role of CAC Chair and Vice Chair
- ◆ Nomination and Approval of CAC Chair and Vice Chair
- ◆ Oral Communications from the Audience
- ◆ Format of Meetings
- ◆ Discussion of CAC Meeting Procedural Guidelines
- ◆ Approval of CAC Procedural Guidelines
- ◆ Overview of the Housing Element Process and state Department of Housing and Community Development (HCD) Requirements
- ◆ Overview of the Current General Plan 2025 Housing Element



# Introductions

## Housing Element Team

### City Planning Division

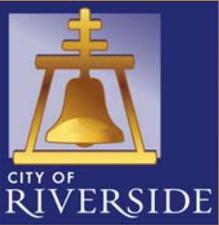
- ◆ Diane Jenkins, Principal Planner 951-826-5625
- ◆ Doug Darnell, Senior Planner 951-826-5219
- ◆ Barbara Bouska, Associate Planner 951-826-5507

### City Housing Division

- ◆ James Yerdon, Housing Program Manager 951-826-5961
- ◆ Michelle Davis, Housing Coordinator 951-826-5743

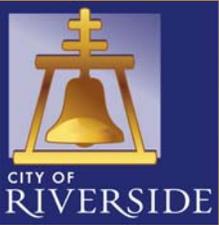
### The Planning Center (Housing Consultant)

- ◆ Mark Hoffman, Senior Associate 909-930-1380
- ◆ Colin Drukker, Senior Planner 714-966-9220



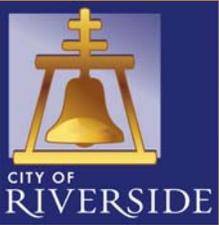
# Role of the CAC

- ◆ **Purpose**
- ◆ **Objective**
- ◆ **Meetings**
- ◆ **Staff Assistance**
- ◆ **Duties**
- ◆ **Attendance**



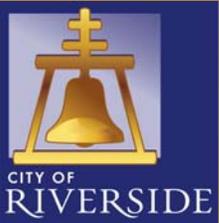
# Role of CAC Chair & Vice Chair

- ◆ The Officers of the CAC shall be a Chairman and a Vice-Chairman, each elected from the appointed Members of the CAC at today's meeting.
- ◆ Officers shall hold office until the Housing Element Update Project is complete.
- ◆ The Chairman shall preside at all meetings of the CAC. The Chairman is responsible for applying speaker time limits, fair and consistent opportunities for the public to speak and recognizing members in the proper order to speak.
- ◆ The Vice-Chairman shall preside in the absence of the Chairman. In the event of the absence of the Chairman and Vice-Chairman, the Commission shall select a Chairman Pro Tem.



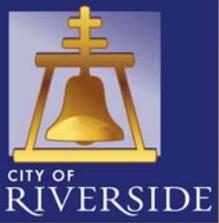
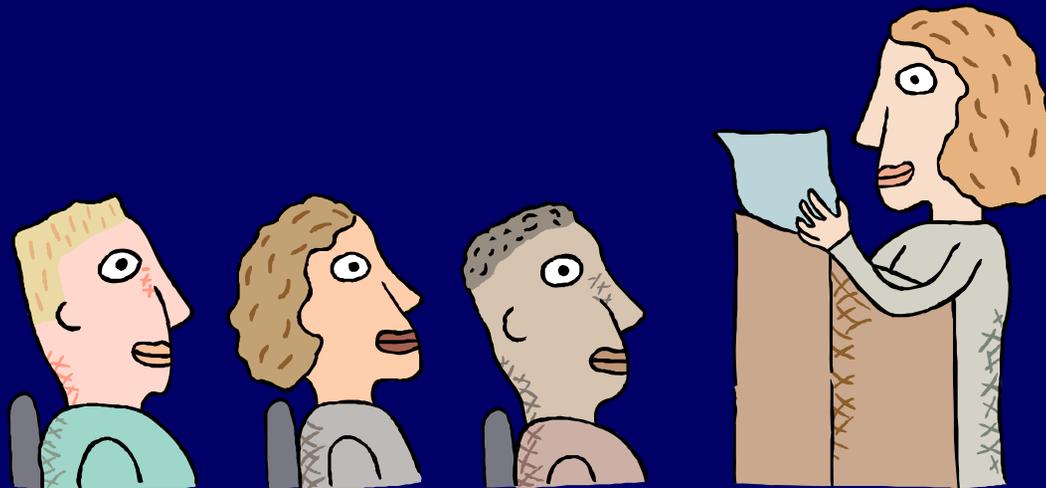
# Nomination & Vote for the Chair & Vice Chair

- ◆ Please nominate and vote.



# Oral Communications

- ◆ Anyone wishing to speak on matters of interest that are not already on the agenda?



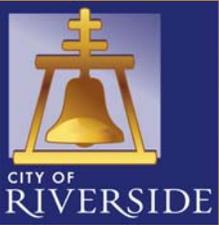
# Format of Meetings



- ◆ **Brown Act Requirements**
- ◆ **Posted Agenda**
- ◆ **Open Meeting, Public Input**
- ◆ **Approval of Minutes, Discuss Agenda Item, Take Action**

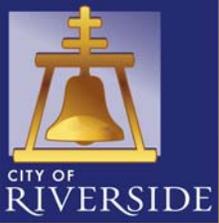
# Procedural Guidelines

- ◆ Role is to serve as an advisory board that will review and make recommendations on Housing Element Objective and Policy alternatives consistent with the General Plan 2025 and State law
- ◆ Advisory recommendations will be forwarded for consideration by the City Planning Commission and the City Council; the City Council will be the final approving authority of the Housing Element.
- ◆ Facilitate public participation by all segments of the community.
- ◆ Be open to alternative solutions and points of view.



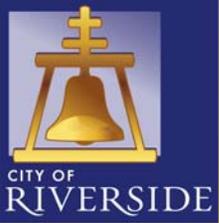
# Procedural Guidelines

- ◆ Focus on issues, not personalities
- ◆ Express interests and concerns, not positions
- ◆ Work as a team for the best interests of the group
- ◆ Stay committed and attend all meetings (if possible)
- ◆ A consensus is desired on the entire Objectives/Policy Section of the Housing Element
- ◆ Be sure to have fun!

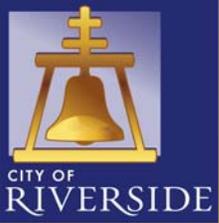


# Overview of Housing Element

- ◆ Overview
- ◆ Questions
- ◆ Next Steps



# Planning Foundation



## City Vision

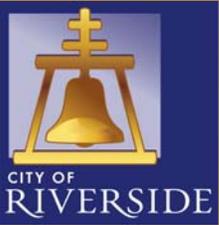
The City of Riverside is committed to providing high quality municipal services to ensure a *safe, inclusive,* and *livable* community.

## How We Accomplish it

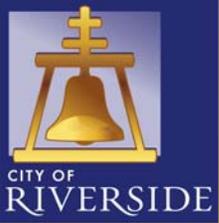
We empower neighborhoods. We listen to each other and pay attention to the details because it matters. We develop creative solutions together

# Our Task – the Housing Element

- ◆ A mandated chapter of the City of Riverside's General Plan 2025
- ◆ General Plan addresses how to improve quality of life through housing, parks, land use, public services, transportation, etc.
- ◆ Housing Element addresses neighborhood quality, supply and quality of housing, housing assistance, and special needs.

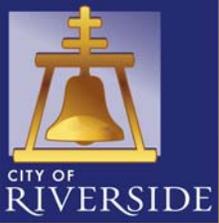


# Legal Framework



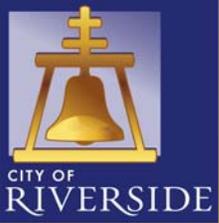
- ◆ Housing Element has detailed statutory requirements in Government Code, §65584. These laws continue to change.
- ◆ Housing Element is reviewed by the State Dept. of Housing and Community Development (HCD) for compliance with state law
- ◆ Certification by HCD is a precondition to receipt of many state and federal housing grants. Also important to protect City from lawsuits.

# Regional Housing Needs



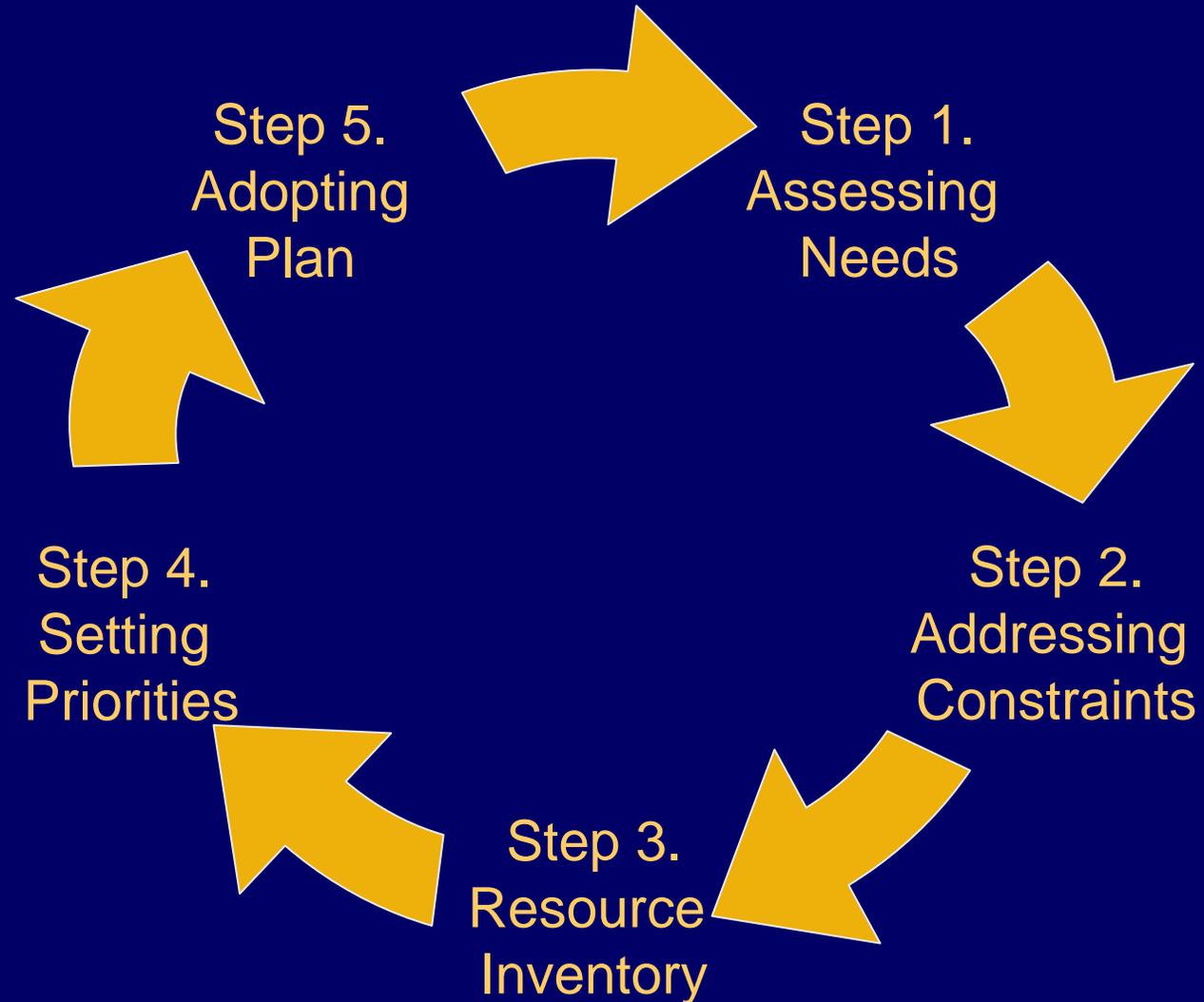
- ◆ The State of California develops housing production needs for every region of the state of California.
- ◆ Southern California Association of Governments (SCAG), a regional agency, allocates the need among 180+ cities in southern California.
- ◆ These are *planning* goals that require cities to identify enough land to accommodate housing.
- ◆ This process is called the Regional Housing Needs Assessment (RHNA)

# Regional Housing Needs



<b>Income Group</b>	<b>Income levels</b>	<b>Unit Goal</b>	<b>Housing Products</b>
Very Low	< 50% MFI < \$33,300	2,687	Apartments
Low	51-80% MFI \$33,000 to \$53,300	1,866	Apartments
Moderate	81-120% MFI \$53,300 to \$74,400	2,099	Apartments Townhomes
Above	> 120% MFI Above \$74,400	4,728	Single-Family & Condominiums
Total		11,381	

# Housing Chapter/Element Update



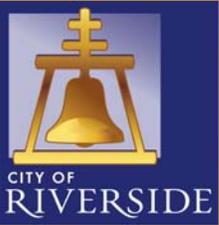
# Objective 1: Livable Neighborhoods

- ◆ *Livable neighborhoods evidenced by well maintained housing, ample public services, and open space which provide a high quality living environment and instill community pride.*



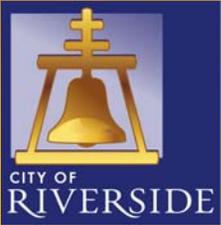
# Objective 2: Housing Diversity

- ◆ *Adequate diversity in housing types and affordability to accommodate housing needs of residents, encourage economic development and sustainability, and promote an inclusive community.*



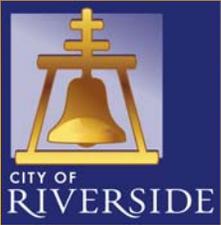
# Objective 3: Housing Assistance

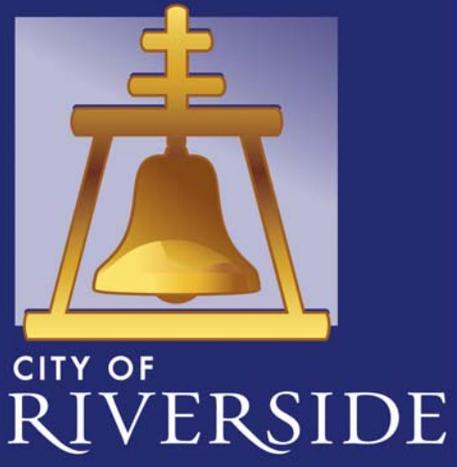
- ◆ *To increase and improve opportunities for low and moderate income residents to rent or purchase homes.*



# Objective 4: Special Housing Needs

- ◆ *To provide adequate housing and supportive services for residents with special needs.*





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