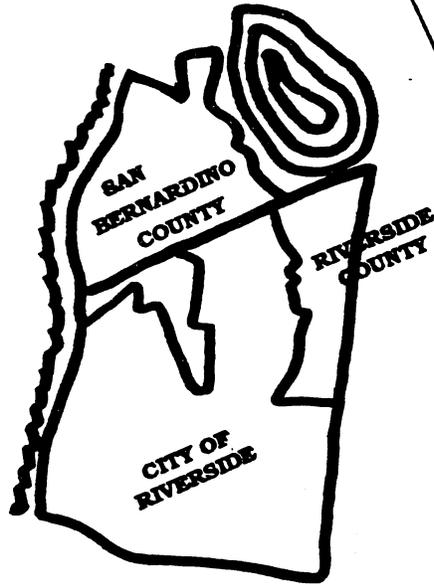


NORTHSIDE COMMUNITY PLAN



▼ ▲ ZUCKER SYSTEMS

with
PARSONS, BRINCKERHOFF, QUADE
& DOUGLAS, TRAFFIC
ECONOMICS RESEARCH ASSOCIATES,
ECONOMICS AND MARKET

Northside Community Plan

City of Riverside
Riverside County
San Bernardino County

Adopted by City Council of the City of Riverside, July 9, 1991
Adopted by the Riverside County Board of Supervisors, November 26, 1991

Zucker Systems

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The Riverside City Council approved the Northside Community Plan, GP-5-901, on June 4, 1991.

The Riverside County Board of Supervisors approved the Northside Community Plan on September 24, 1991, Resolution #91-601.

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I INTRODUCTION

I. OVERVIEW - EXECUTIVE SUMMARY

This Community Plan was jointly prepared by Riverside City and County for the Northside Area. It replaces the prior City of Riverside Community Plan adopted in 1977 which had become outdated, did not adequately reflect current community values, and was not adequately detailed. Additionally, neither Riverside County nor San Bernardino County have had a Community Plan for the Northside. Thus, the area has lacked specific policies for its protection and revitalization.

The desire to create a new Community Plan was based on concerns, expressed by both City and County civic leaders, that there is a need to improve the overall appearance of the Northside by upgrading existing development standards and establishing a stronger code enforcement program. Portions of the area have been perceived as underutilized and marginal in terms of quality of development. In response to these concerns, the Community Plan proposes improved development standards, encouragement of higher quality uses, stabilization of existing uses and identification of public and private construction needs.

The Plan area encompasses approximately 1,904 acres of City and County lands generally bounded by the I-215 Freeway on the east, U.S. 60 on the south, the Santa Ana River on the west, San Bernardino County and the City of Colton to the north (see Figures 1 & 2 and Table 1). Approximately 20% of the study area lies within San Bernardino County and is included within the Plan because of its strong physical relationship to properties in the City and County of Riverside.

The Community Plan is generally consistent with the existing City General Plan with some minor exceptions. However, it provides additional details and policy for this particular part of the City as well as guidance for the Counties of Riverside and San Bernardino and the City of Colton. The plan is intended to be adopted by the City of Riverside, County of Riverside and San Bernardino County as an official planning document. The City of Colton should use the document as a reference source.

The Community Plan is supplemented by an extensive background report, *Background Studies, Technical Memorandum 1, September 1989*, a Draft Northside Community Plan that included alternatives, February 1990; and an environmental document consisting of a negative declaration. *Technical Memorandum 1* contains extensive background data on the Northside area including population, economic and market data as well as a citizen survey and a discussion of environmental constraints.

**FIGURE 1
LOCATION MAP**

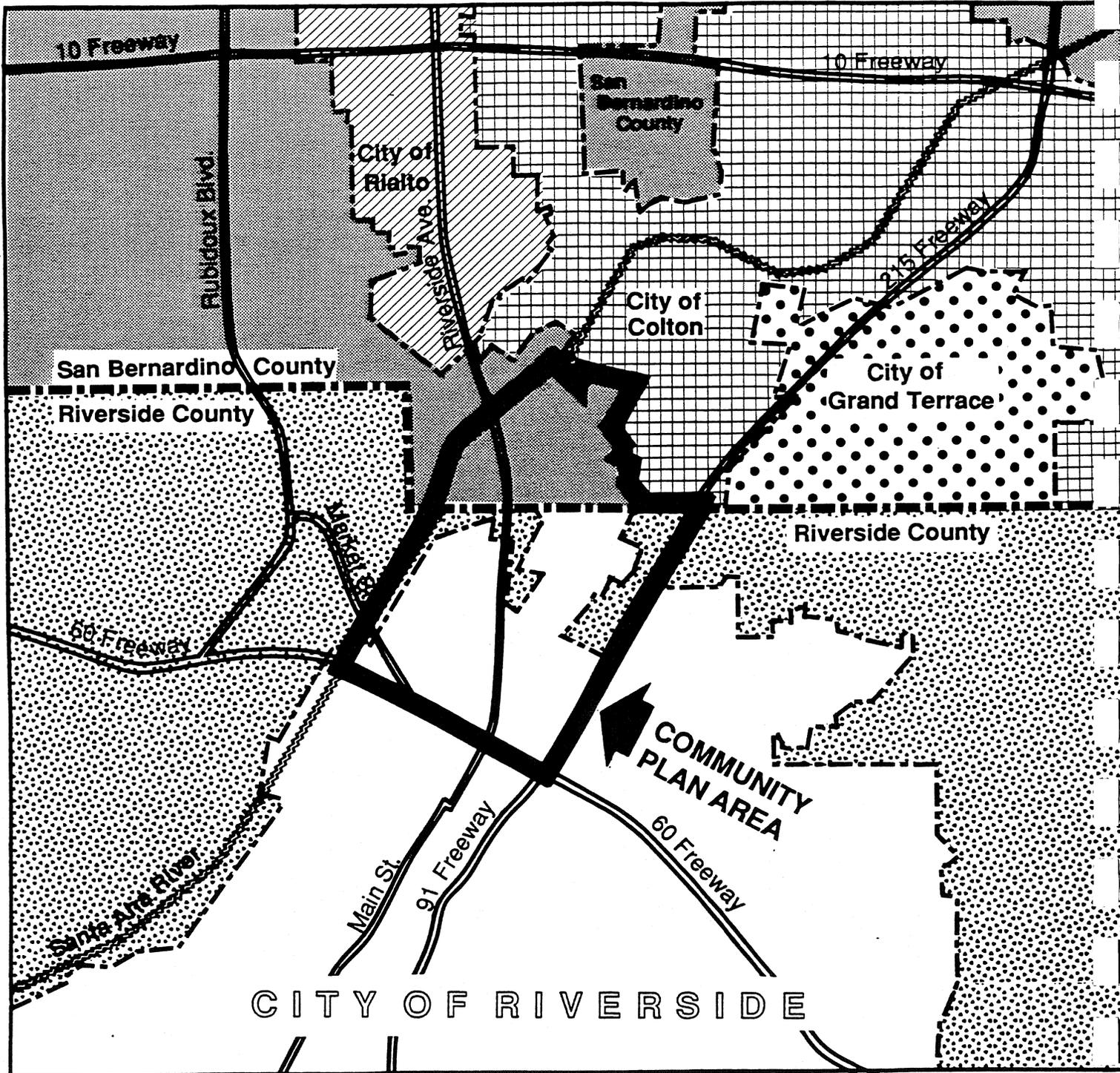


Figure 2

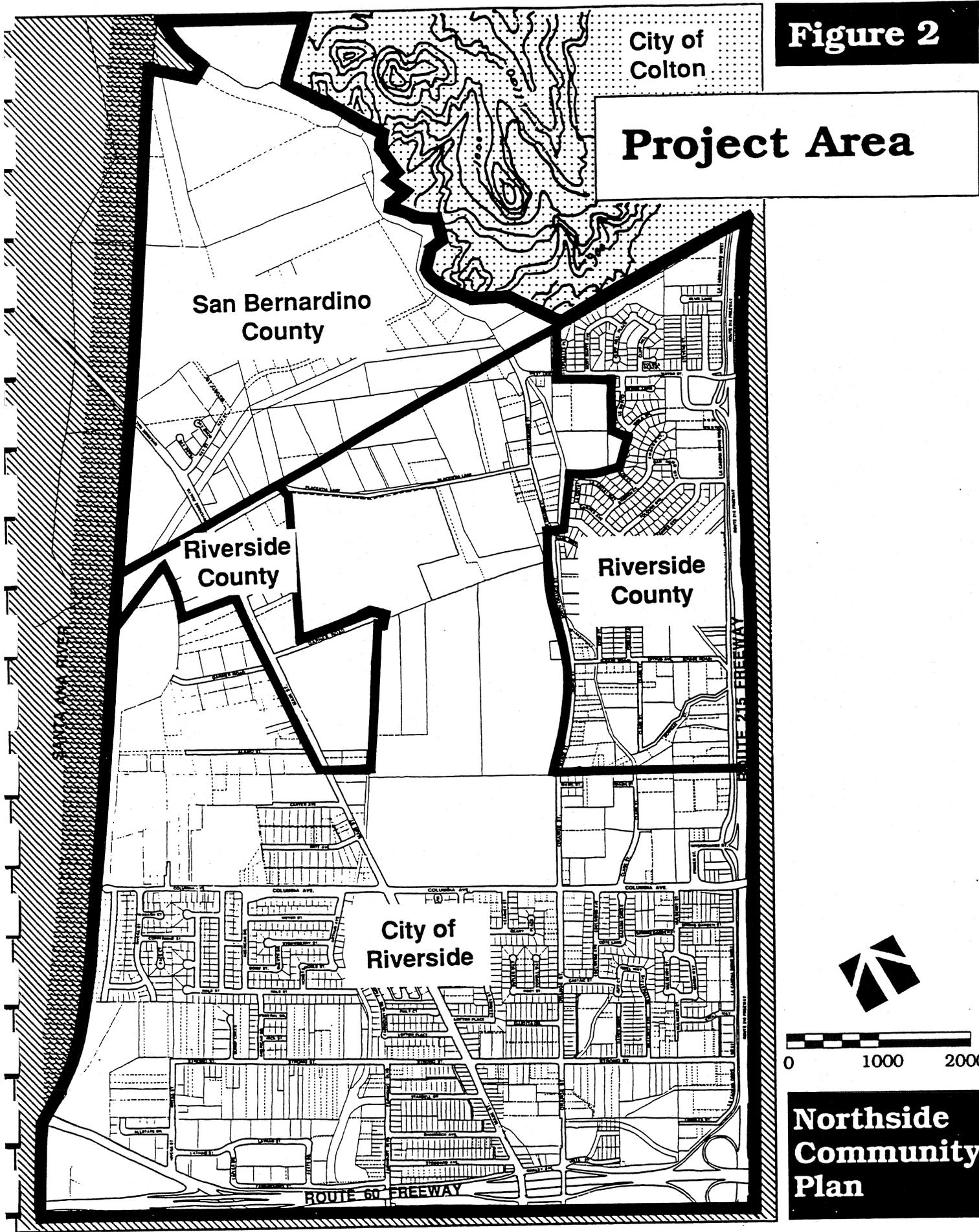


Table 1

**Jurisdictions and Acreages
Northside Community Plan**

<u>Jurisdiction</u>	<u>Acres in Lots</u>	<u>Acres in Streets or Drainage Channels</u>	<u>Total Acres</u>	<u>%</u>
City of Riverside	1027	175	1202	63
Riverside County	240	94	334	18
San Bernardino County	354	14	368	19
Total	<u>1621</u>	<u>283</u>	<u>1904</u>	<u>100</u>

The remainder of this introductory chapter describes the population characteristics of the area, projects future population and provides a history of the community.

Chapter II, Goals, sets forth five key goals intended to guide the future of the Northside. The goals stress the need for improved responsiveness to the area by local governments and the need to view the area as a single community, irrespective of political jurisdiction. The theme for the area is the "low density charm of old Riverside" with a balance of uses.

Land Use recommendations are set forth in Chapter III. Of particular note are:

- ✓ The special requirements established for the proposed large retail and office center on the vacant parcel at the northeast corner of U.S. 60 and I-215 (Policy 4).
- ✓ The proposal to provide focus to West La Cadena Drive commercial uses (Policy 6).
- ✓ The proposal to prepare a Specific Plan for the Riverside City Public Utilities Department land and adjacent industrial areas (Policy 10).
- ✓ The retention of historic properties (Policies 11, 12 & 13).

Chapter IV sets forth a variety of Circulation recommendations; all designed to retain a Level of Service D under peak hour traffic conditions. New streets include an extension of Center Street (Policy 17), Key Street (Policy 21), Orange Street (Policy 22), West La Cadena Drive (Policy 23), and Strong Street (Policy 25). A variety of sidewalks are recommended to complete the area pedestrian circulation system (Policy 26).

Public Facility recommendations are included in Chapter V. These included recommended improvements to Fremont Elementary School (Policy 27 and 28), priorities for undergrounding overhead utilities (Policy 29), and improvements to the golf course and Reid Park (Policy 31 and 32).

A special section is included on urban design in Chapter VI. Recommendations are included that implement the "old Riverside" theme and take advantage of the views of surrounding hills. Main Street is proposed as having a landscaped center median and lined on both sides with canopy trees.

Finally in Chapter VII a recommendation is made to study the possibility of redevelopment (Policy 44), and encourage the entire area to be in the City of Riverside (Policy 45).

2 HISTORY OF THE COMMUNITY

Riverside County was first chronicled in the exploration annals of Captain Juan Bautista de Anza, Spanish soldier and explorer, in 1774. The land was noted to be rich and fertile, and later was offered to early spanish settlers as large land grants or "ranchos." Subsequent development during the Anglo period turned the county into a major capital for citrus growers.

Before Riverside was founded, a small village called La Placita was developed by Lorenzo Trujillo beginning in 1845. The residents were Spanish descended families from New Mexico, via Rancho San Bernardino near Colton, settling tracts of land given them by Juan Bandini of Rancho Jurupa. His purpose was to establish a buffer zone against Indian horse thieves who raided his ranch from the desert via Cajon Pass. A similar village, Agua Mansa, was located on the west side of the Santa Ana River, however, it was all but destroyed by the 1862 flood and many of its people moved to La Placita on the east side of the river.

At the time the City of Riverside was founded in 1870, stock from La Placita grazed over the land now called Northside. Water from Springbrook was hauled to the earliest Riverside settlers, until they built their water system. Riverside was incorporated in 1883.

La Placita continued to exist as a group of small farms and adobe homes along Center Street and Orange Street at the bottom of La Loma Hill. La Placita had its own irrigation system called Trujillo Ditch and as late as 1925 its own Trujillo School District. The school was located about 100 ft. south of Center Street on the east side of Orange Street. More famous was "*the Cantina of Spanish Town*" located just north of where Orange Street turns and becomes Center Street. Even when Riverside grew beyond First Street, the Northside was considered a rural area occupied by dairies, large chicken ranches, horse ranches, and groves of eucalyptus, citrus & walnut. In the 1950's and 60's a number of tracts of single family houses were developed along with some commercial use. Until 1963, the Market House

on West La Cadena Drive north-east of Columbia Avenue was a thriving community gathering place with its super market, variety store, nursery and gift store, beauty shop, barber shop, service station and garage and Simons Drug Store. At different times, a post office substation, income tax accountant, and a radio and TV shop were available at Market House. It is remembered by long-time residents as a warm friendly place, where at any time, one could meet friends and acquaintances and any group could have a fund raising bake sale. When that business center ceased to function, the community lost both commercial convenience and an important community focal point.

3 POPULATION

Population statistics provide the background for thinking about and analyzing the Northside area. This section summarizes the existing population and its characteristics of age, sex, household size, and ethnicity.

The 1989 population of the area was estimated at 5,913 people with a median age of 28.3 years. (See Table 2.)

Table 2

**Population By Age Cohorts
Northside Community Plan Area - 1989**

<u>Age Group</u>	<u>Population</u>	<u>Percent</u>
0 - 5	746	12.6
6 - 13	722	12.2
14 - 17	324	5.5
18 - 20	282	4.8
21 - 24	472	8.0
25 - 34	1,264	21.4
35 - 44	855	14.4
45 - 54	436	7.4
55 - 64	364	6.1
65 +	448	7.6
	5913	100%

Median Age: 28.3 years

The Northside Community Plan Area is unusual in that a higher proportion of its residents are men than are women. Almost 58 percent of the population are male; usually women slightly outnumber men due to their life expectancies. This anomaly could perhaps be explained by the concentration of industrial land uses in the area with a predominance of traditionally male-oriented jobs available near-by; single men motivated to live near their jobs would thus be attracted to the area. As Table 3 below

demonstrates, males outnumber females most significantly in the under 20 and 21-44 age categories:

Table 3

**Population By Sex
Northside Community Plan Area - 1989**

<u>Age Group</u>	<u>Males</u>		<u>Females</u>	
	<u>Number</u>	<u>Percent</u>	<u>Number</u>	<u>Percent</u>
0 - 20	1,071	35.7	1,002	34.4
21 - 44	1,337	44.5	1,254	43.1
45 - 64	389	12.9	411	14.1
65 +	<u>206</u>	<u>6.9</u>	<u>243</u>	<u>8.4</u>
Total	3,003	100.0%	2,910	100.0%

The Northside's population comprises 2,046 households, of which 1,430 (69.9 percent) are families where one or more members are related to the householder by blood or marriage (see Table 4). The average household size in the Northside Community Plan Area is 2.89 persons per household, which is substantially higher than Riverside County's 2.77 persons per household.

Table 4

**Households By Size
Northside Community Plan Area**

<u>Number of Persons</u>	<u>Number of Households</u>	<u>Percent</u>
1	456	22.3
2	657	32.1
3 - 4	714	34.9
5 or more	219	10.7

About 57 percent of these households (1,168) reside in owner-occupied dwellings; the remaining 878 households rent their homes.

The Northside Community Plan Area is predominantly Anglo. When the 1980 Census was conducted, 66.2 percent of the area's residents were so classified. This proportion has decreased to 55.5 percent at present. Correspondingly, the African-American and Latino populations have both increased their relative size during this time period by about 2.5 and 7.2 percent, respectively. Other ethnic groups are also slightly better represented in 1989 than they were in 1980. (See Table 5.) These trends may continue during the coming decades.

Table 5

**Population By Ethnicity
Northside Community Plan Area**

Ethnic Group	1980		1989		Percent Growth
	Population	Percent	Population	Percent	
Anglo	3,451	66.2	3,282	55.5	4.9
Latino	1,290	24.8	1,892	32.0	46.7
African American	280	5.4	467	7.9	66.8
Asian/P.I.	87	1.7	124	2.1	42.5
Native American	58	1.1	83	1.4	43.1
Other	<u>44</u>	0.8	<u>65</u>	1.1	47.7
	5210		5913		

Note: People describing themselves as of Latino heritage may be any race.

4. POPULATION PROJECTIONS

In order to properly plan for land use, economics and transportation, it is essential to look at growth trends and population projections for the Northside.

The Northside Community Plan Area's 5,913 residents represent only 2.8 percent of the City of Riverside's 209,700 population in 1989. The City of Riverside's population has grown 22.7 percent since the 1980 census was conducted; the Northside Community Plan Area has grown 13.5 percent during the intervening years, or a little more than half as fast as shown in Table 6. As other parts of the City reach build-out, the Northside Community Plan area, which is now positioned for increased residential development, will continue to grow in both absolute and relative terms.

Table 6

**Comparative Growth Rates: 1980 - 1989
Northside Community Plan Area**

Place	1980 Population	1989 Population	Percent Growth
Northside Community Plan Area	5,210	5,913	13.49
City of Riverside	170,876	209,700	22.72
County of Riverside	663,166	1,014,800	53.02

Table 7 depicts the number of households and population projected for the Northside area through the year 2020. Average household size is expected to continue expanding through about 1995, and then begin gradually decreasing as the senior citizen population increases and members of the baby boom leave the nest, both of which will result in a higher proportion of one and two person households.

Table 7

**Population Projections
Northside Community Plan Area**

<u>Year</u>	<u>Number of Households</u>	<u>Household Size</u>	<u>Total Population</u>
1990	2077	2.89	6,003
1995	2164	2.97	6,427
2000	2244	2.96	6,639
2005	2313	2.93	6,770
2010	2381	2.88	6,868
2015	2445	2.84	6,947
2020	2502	2.81	7,029

5. INCOME AND EMPLOYMENT

The Northside Community Plan Area is a comparatively lower income community with a per capita income of \$9,184 annually. This figure is only about three-quarters as much as the overall City of Riverside's per capita income of \$12,047.

The Northside Community Plan Area has nearly a 1:1 ratio of employment to population. There are presently 6,364 people employed by the private sector working within the area's boundaries, or 1.076 jobs per resident. This is a substantially better balance than the City's overall ratio of 0.48 jobs per resident.

Twenty two percent of employees presently working within the Northside Community Plan Area are engaged in manufacturing and industrial pursuits. Twenty percent work in commercial outlets and a surprising 31.2 percent work in traditional office-oriented professions. The remaining 26 percent work in a variety of unclassified positions.

About one third of people living in the Northside work in office settings (31.2 percent), including the self-employed, those working for small enterprises, and people employed by government, larger corporations, service sector companies (e.g., accountants and lawyers) and banks. Similarly, 34.5

percent hold jobs located in manufacturing and other industrial plants. One fifth (20.8 percent) of those employed locally work in commercial locations: retail stores, restaurants and bars, service stations, grocery stores and similar operations. The remaining 13.1 percent would include, among others, transportation and utilities workers and those engaged in agricultural pursuits.

6 CONCLUSION

The Northside area has been shown to be a logical planning area needing greater attention than it has received in the past. A three jurisdiction plan (Riverside City, Riverside County and San Bernardino County) is proposed.

The area has an interesting history being the site of one of the earliest settlements in the county and pre-dating by a generation the founding of the City of Riverside. Although population growth has been at only half the rate of the City of Riverside, the area has a solid and diverse population and a sound future. The population has a median age of 28.5 years, is 58% male, and averages 2.89 persons per household. The area has 57% owner occupied houses and has a mixed ethnic population.

Although per capita income is only three quarters as much as the City of Riverside, the area has an extremely desirable 1:1 ratio of employment to population. This compares to the City of Riverside 0.48 jobs per resident.

The area is projected to grow from its current population of 6,000 to over 7,000 by the year 2020.

II. GOALS

Long term goals are an important part of the Community Plan. They provide a clear direction and a perspective from which the Plan is developed. The Northside Community Plan goals were developed following several meetings between the consultants, staff and the Citizens Advisory Committee. Additionally the Citizens Advisory Committee members completed a questionnaire about the area and conducted a field trip of the area to discuss desirable directions for the community. (See Background Studies Report.)

The Northside Community Plan is based on the five general goals as follows:

1. Balanced Community - Old Riverside

The image for the Northside Community should be a balanced community in which it is pleasant to live, work and recreate by blending:

Lower Density Residential Uses -	Primarily single-family neighborhoods (averaging 3-4) dwelling units per acre.
Varied Recreation & Open - Space Opportunities	Reid Park, golf course, soccer fields, Santa Ana River.
Office/Industrial Development-	Oriented to the two freeways and with land intensive uses oriented to San Bernardino County.
Service Commercial Uses-	Day to day services for the local population and business.

2. Improved Response by Local Government

The perceived traditional view by local residents of the Northside as a neglected area suitable for uses not wanted elsewhere in the City or County, low quality design, and unkept properties should be abandoned. The goal is for steady change and improvement to an upgraded model community with a distinct identity.

3. Residential Pre-Eminence

While emphasizing a balanced community, it is recognized that office, industrial and commercial uses can overwhelm residential neighborhoods and that residential neighborhoods can be highly fragile. Therefore, single family residential uses, concerns and needs should take precedence over office, commercial and industrial uses when conflicts occur.

4. One Community

The Northside is a single community and the validity of the Community Plan should be so recognized by the four jurisdictions politically controlling or impacting the area, i.e. the City of Riverside, Riverside County, San Bernardino County and the City of Colton.

5. Low Density Charm - Old Riverside

The image and emphasis for the Northside shall be to foster and maintain the lower density charm of old Riverside. This is characterized by quiet single-family neighborhoods, tree lined streets, large varied recreation and open spaces, views of the hills and Santa Ana River, all within close proximity to Downtown.

III. LAND USE

1. BACKGROUND

An effective Community Plan must be based on a detailed review of existing land uses within the area. A detailed property by property land use survey was conducted for the area and is summarized in Tables 8 & 9 and illustrated in Figure 3.

Table 8

Residential Land Use by Political Jurisdiction and Number of Dwelling Units

	<u>Riverside City</u>	<u>Riverside County</u>	<u>San Bernardino County</u>	<u>Total</u>	<u>%</u>
Single Family	1068	415	1	1484	75
Duplex	8	2	---	10	1
Multi-Family	367	3	---	370	19
Mobile Homes	<u>66</u>	<u>45</u>	<u>—</u>	<u>111</u>	<u>5</u>
	1509	465	1	1975	100

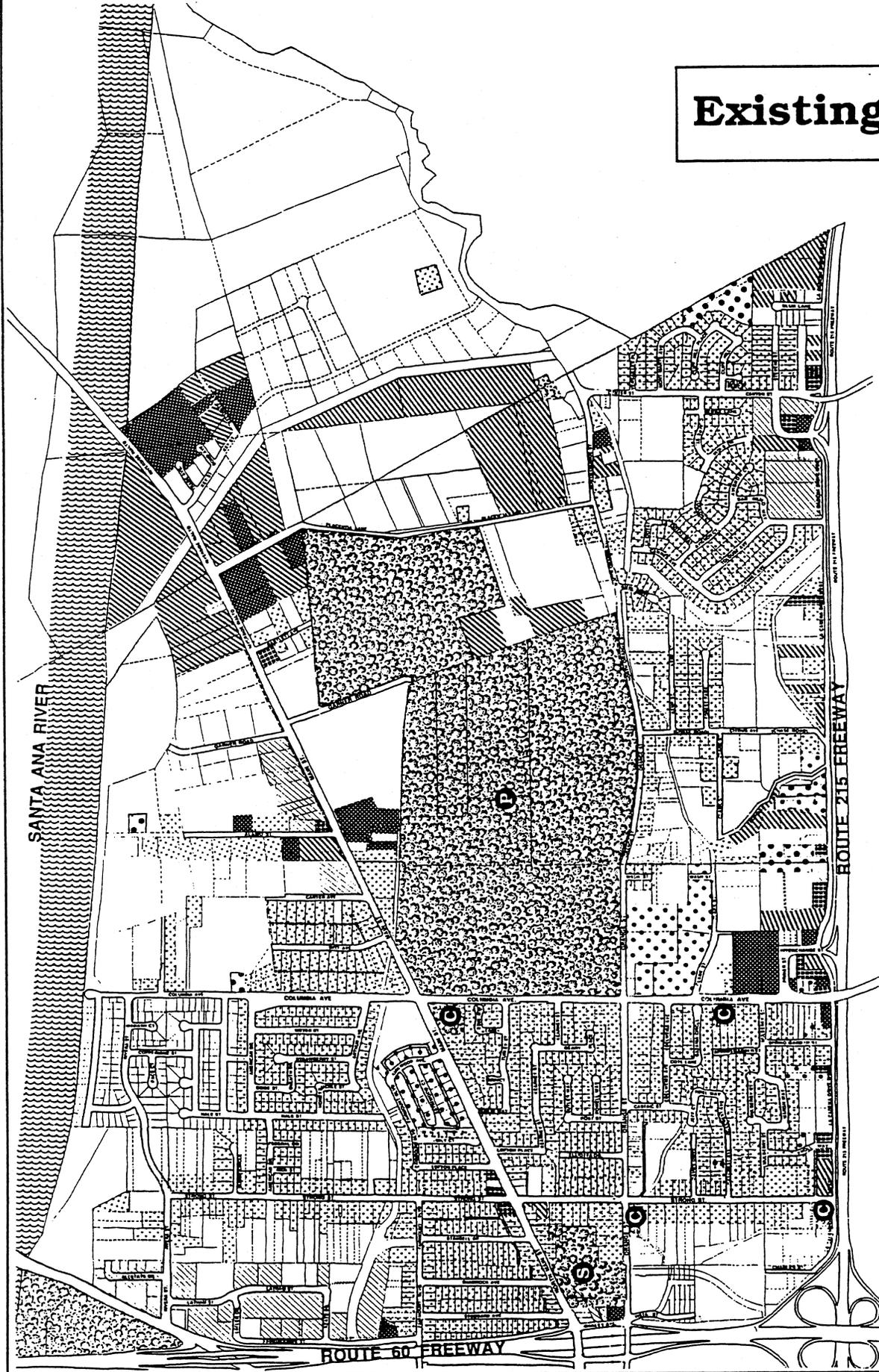
Table 9

Non-Residential Land Use By Political Jurisdiction and Acres

	<u>Riverside City</u>	<u>Riverside County</u>	<u>San Bernardino County</u>	<u>Total acres.</u>	<u>%</u>
Commercial	3.5	2.2	-	5.7	1
Industrial	34.6	74.5	60.2	169.3	39
Office	2.7	-	-	2.7	1
Industrial/Office	18.7	6.1	-	24.8	6
Reid Park & Riverside Golf Course	159.0	-	-	159.0	36
Soccer Field	56.0	-	-	56.0	13
Other	<u>14.5</u>	<u>2.0</u>	<u>-</u>	<u>16.5</u>	<u>4</u>
	289.0	84.8	60.2	434.0	100

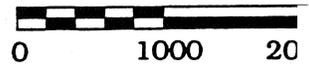
Figure 3

Existing Land Use



- Vacant
- Single Family
- Duplex, Multi-Family & Group Living
- Mobile Homes & Trailer Parks
- Commercial
- Industrial & Wholesale
- Office/Industrial
SS = Self Storage
- Vehicle Related
- Public & Institutional
S = School
C = Church
P = Park

Date of Survey: May 1989



**Northside
Community
Plan**

Sixty-seven percent or 1275 acres of the area is either in residential development or undeveloped. Another 202.5 acres or 10.6% of the area is in commercial, industrial or office uses. Of the residential units, 1484 or 75% dwellings are single family. Reid Park, the Riverside Golf Course and the soccer fields comprise 215 acres or 11.3% of the area.

The Northside Community Plan Area is undergoing land use change at a fairly rapid pace, as existing vacant land is converted to new housing, office and industrial space. New office development is concentrated around the Rivera Street area north of the U.S. 60 Freeway while residential subdivisions concentrated at the south-east corner of Columbia Avenue and Main Street, and in the area south of the Columbia Avenue western terminus. The vacant land which recently sold or is presently on the market had been largely in agricultural use. However, there are several large tracts for sale which are zoned for industrial use and could result in a new concentration of office or industrial space in the area's northeast quadrant.

The Northside Community Plan Area's primary thoroughfare, Main Street, appears to be attracting only a modest proportion of new development, probably due to a variety of factors. The area is mostly built up, albeit with many underutilized parcels, and most land is owned by the businesses presently operating on site. This limits the number of parcels which become available for sale and limits developers' ability to influence the flavor of the neighborhood and control the context for the real estate product. Existing buildings also add additional costs to the developers' bottom line, such as demolition and tenant relocation. Instead, developers are gravitating more towards vacant parcels with good freeway access in the southern portion of the Community Plan Area.

In general, existing structures in the southern half of the study area are newer, more expensive and denser than those in the northern half. Particularly as one approaches the County line to the north it becomes clear that lot sizes and structure age are increasing while quality and condition decline.

West La Cadena Drive functions primarily as a marginal freeway service road at present. It is home to several service stations and hidden independent retail craftsmen (e.g., appliance repair and upholstery shops although its freeway access makes it a prime candidate for future development of higher intensity uses.

Columbia Avenue, east of the golf course, has been in the past and continues to be a magnet for new multi-family development.

The recent development which has occurred in the Northside Community Plan Area will play an important role in encouraging new projects in the future. New office and residential projects are helping to change the Northside area's image, from that of an older under developed area with pockets of industry and aging residential stock to a more complete

urbanizing community which offers a wide range of housing choices and inexpensive industrial space for both start-up and established companies. The fortunes of the Northside area are still affected by the quality and availability of housing and commercial space available in more established areas of the City of Riverside and nearby unincorporated areas which enjoy better freeway access and shopping opportunities. However, as these areas become increasingly built out, and hence increasingly expensive, the Northside Community Area will become more and more attractive.

2 LAND USE PROJECTIONS

The potential build out of the entire project area has been estimated based on current Zoning and is shown in Table 10.

Table 10

Build Out Projections					
	<u>Existing</u>	<u>%</u>	<u>Additional At Build Out</u>	<u>Total</u>	<u>%</u>
Single Family	1484 du	75	1338 du	2822 du	81
Duplex	10 du	1	*	10 du	1
Multi-Family	370 du	19	151 du	521 du	15
Mobile Homes	<u>111 du</u>	<u>5</u>	<u>*</u>	<u>111 du</u>	<u>3</u>
Total	1975 du	100%	1489 du	3464 du	100%
Commercial	5.7 ac.	1	26.6 ac.	32.3 ac.	4
Industrial	169.3 ac.	39	264.7 ac.	434.0 ac.	59
Office	2.7 ac.	1	27.8 ac.	30.5 ac.	4
Industrial/Office	24.8 ac.	6	2.4 ac.	27.2 ac.	4
Reid Park & Golf Course	159.0 ac.	36	* ac.	159.0 ac.	22
Soccer Field	56.0 ac.	13	* ac.	18.0 ac.	2
Other	<u>16.4 ac.</u>	<u>4</u>	<u>* ac.</u>	<u>35.0 ac.</u>	<u>5</u>
Total	434.0 ac.	100%	321.5 ac.	736.0 ac.	100%

* Additional Future development could be possible in these categories. However, for simplicity the projected development was assigned to the predominant land use category.

Several items of interest can be seen in Table 10. Single family development could roughly double over the life of the plan with 1484 existing units and another 1338 allowed. Single-family development would remain the predominate residential land use, increasing from 75% today to 81% in the future. Multi-family development would only increase by 151 units going from 370 current units to a build out total of 521 units.

For non-residential development 66% of the land zoned for development is currently occupied with an additional 34% or 321 acres available for development. However, some of the 66% of existing development is in low density type industrial uses that can be expected to intensify in the future.

The largest future increase in non-residential development is in the industrial category with 265 acres still available for development. Much of this land is located in San Bernardino County.

3. POLICIES

The following section sets forth the land use policies for the Community Plan. Policies are organized under the topics of Residential, Commercial, Industrial/Office, Public & Institutional, Utility Department Land, Historic Properties, and Building and Property Maintenance. The policies relate to the Land Use Map, which is Figure 5 located at the end of this chapter.

A. RESIDENTIAL

Policy 1 Residential Land Use Categories

The Community Plan residential categories shall be as follows:

- ***Agricultural Residential:*** *Single family houses on large lots. Maximum 0.2 dwelling units per gross acre.*
- ***Semi-Rural Lifestyle:*** *Single family houses with the keeping of animals on a minimum 20,000 square foot lots. Average: two dwelling units per gross acre.*
- ***Medium Low Density Residential:*** *Predominantly single family houses on slopes under 15 percent.*

*Range: Up to 8.0 dwelling units per gross acre.
Average: 4.0 dwelling units per gross acre. Planned Residential Developments at selected locations.*

- Medium High Density Residential: Predominantly low density apartments or apartments mixed with single family houses.

Range: Up to 16 dwelling units per gross acre.
 Average: 12 dwelling units per gross acres. Planned Residential Developments at selected locations.

Policy 2 La Loma Hills in Colton

The City of Colton should be encouraged to keep the La Loma Hills primarily in open space. Any minimal development should only be allowed with minimal grading. The current plan allowing 2 units per acre should be modified to allow 0.2 dwelling units per gross acre or less. (See Figure 2 for location of La Loma Hills.)

B. COMMERCIAL

Policy 3 Commercial Land Use Categories

The Community Plan commercial categories shall be as follows:

- Retail Business and Offices: Downtown Regional Shopping Centers; Community Shopping Centers; Neighborhood Shopping Centers; and other groups of stores.
- Service Commercial: Mixed commercial strips.

Policy 4 Special Requirements - Northwest of U.S. 60 and I-215 Interchange

The retail business and office center on the large vacant parcel at the northeast corner of U.S. 60 and I-215 shall be developed to meet the following criteria:

- ✓ West La Cadena Drive
 - Shall be extended to intersect with Orange Street.
 - The extension shall include a landscaped center median with trees - designed to provide a pleasant residential scale to the street.
 - The intersection with Orange Street shall be designed so as to discourage non-local shopping center traffic from going north on Orange Street. Such traffic shall be encouraged to use West La Cadena Drive.
- ✓ A daycare center shall be located on the northwest corner of the property, adjacent to Orange Street.

- ✓ *A unified development plan shall be required for the entire site subject to City Council approval. Said plan should have the characteristics of a unified shopping center and not the characteristics of a strip commercial freeway center. Such plan shall also show conceptual plans for the adjacent vacant site to the east as retail business and office.*
- ✓ *The center must include a grocery store and related neighborhood service uses.*
- ✓ *Buildings shall be limited to 2 stories in height.*
- ✓ *The entire site shall be planted in a lush landscape to emphasize a human scale to the extent possible. Specific attention shall be given to:*
 - *De-emphasizing the site as a strip commercial freeway center.*
 - *Screening the property from the Strong Street residential area.*
 - *Blending into the Orange Street residential environment. This shall be accomplished with a triple row of trees in a wide landscape set-back or equivalent.*
- ✓ *The architecture and layout of streets, buildings and parking area shall emphasize a human scale.*
- ✓ *Easy and clear human paths into the center from Orange Street and West La Cadena Drive shall be included.*
- ✓ *A maximum of 300,000 sq. ft. of commercial gross floor area shall be allowed.*
- ✓ *Right-of-way for the widening of U.S. 60 and I-215 shall be provided as required by CALTRANS .*
- ✓ *Lighting fixtures shall be of a human scale.*
- ✓ *Consideration should be given to assisting the Riverside Unified School District in making improvements to the Fremont Elementary School as specified in Policies 26 & 27.*

***Policy 5 Special Requirements - Northeast and Southeast
Corner of Strong and Main
Street***

The commercial land uses permitted at the northeast and southeast corners of Strong and Main Streets shall be regulated by the following policy; The commercial land uses shall be compatible with the surrounding single family residential neighborhood and Fremont Elementary School. The uses shall not be heavy traffic generators nor uses hazardous to the school children.

Permitted uses shall be those allowed in the C-2 (Restricted Commercial) zone, except the following uses are specifically prohibited:

- a. Service station
- b. Automobile service center
- c. Convenience market
- d. Liquor store
- e. Video game or similar amusement use
- f. Billiard or pool hall
- g. Cocktail lounge, bar or tavern

Policy 6 West La Cadena Drive

Commercial uses should be focused at the Columbia Avenue and West Center Street intersections.

C. INDUSTRIAL/OFFICE

Policy 7 Industrial and Office Land Use Categories

The Community Plan industrial and office categories shall be as follows:

- Industrial Park: High quality industry subject to strict use and design standards.
- Low Density Industry: Average 4 employees per gross acre.
- High Density Industry: Average 14 employees per gross acre.
- Offices (only)

Policy 8 West La Cadena Drive

The industrial park land use categories along West La Cadena Drive shall be particularly sensitive to views from the I-215 Freeway and compatible with abutting residential uses to the west. Special requirements shall include:

- ✓ No outdoor manufacturing.
- ✓ Minimal outdoor storage.
- ✓ Prohibition of non-permanent and metal buildings.
- ✓ Normal minimum parcel sizes of 100 ft. frontages and 20,000 square foot lots.
- ✓ Standards normally associated with the City's M-1, B-P zone.

D. PUBLIC AND INSTITUTIONAL

Policy 9 Public and Institutional Land Use Categories

The Community Plan public and institutional categories shall be as follows:

- *Local Parks and Golf Courses*
- *Open Space*
- *Institutional*

E. UTILITY DEPARTMENT LAND

The Riverside City Public Utilities Department owns 392± acres of land in the Plan areas as follows: (see Figure 2)

Drainage	7 ac.±
Golf Course	127 ac.±
Reid Park	32 ac.±
San Bernardino County Land	170 ac.±
Soccer Fields	<u>56 ac.±</u>
Total	392 ac.±

The land holdings in Riverside County have provided a major recreation and open space resource for the Plan area. When the land holdings in San Bernardino County develop they could create either positive or negative impacts on the rest of the Plan area. The combination of land holdings is particularly interesting since large underdeveloped private industrial land holdings separate the two areas of Utility Department land. These private lands, zoned industrial, have created a variety of negative impacts on the community including dust, traffic and visual intrusion into residential areas.

This situation calls for more detailed planning than is possible within the Community Plan. Such planning provides a unique opportunity and can result in major benefits to the community.

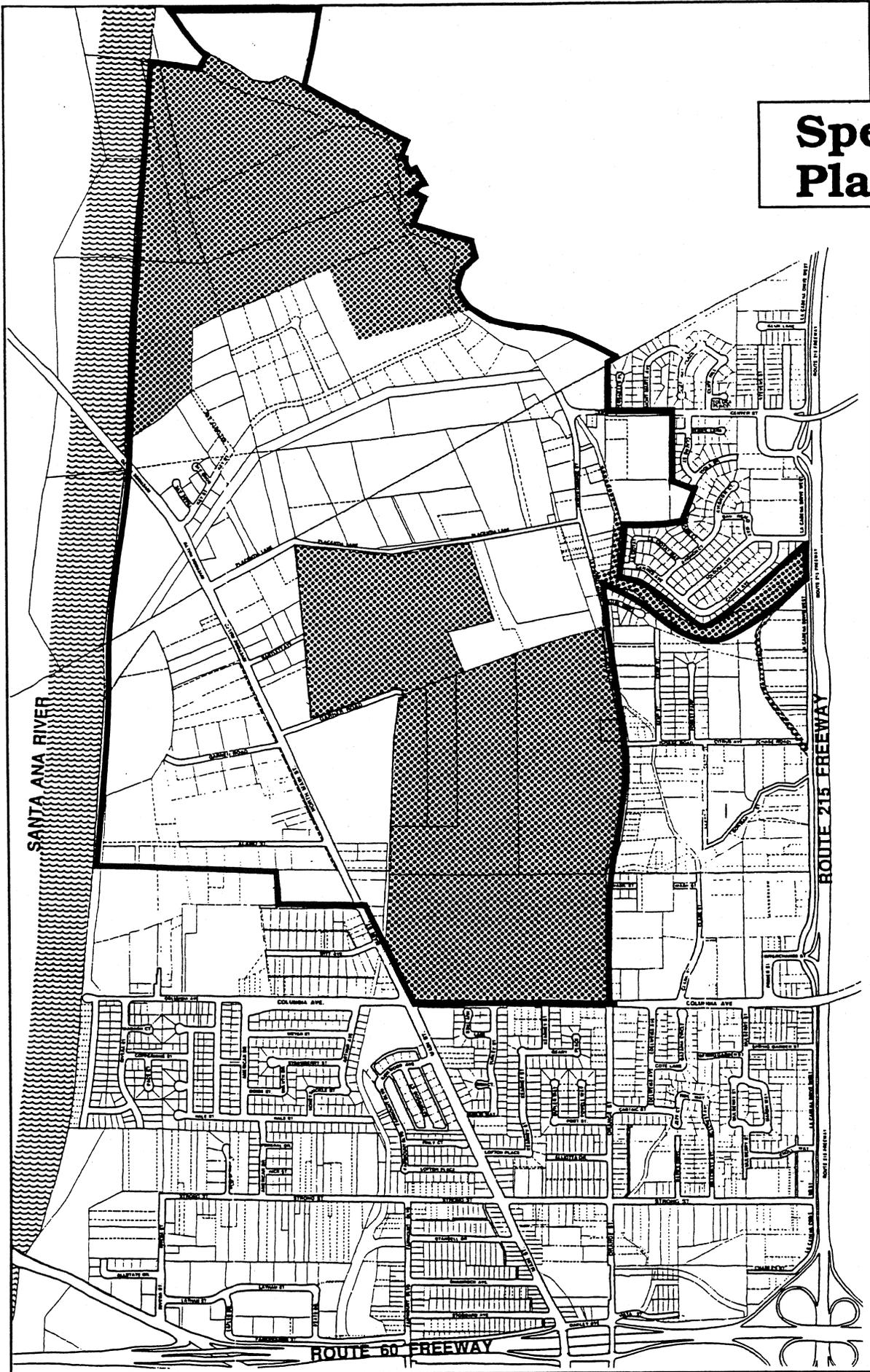
Policy 10 Specific Plan

A Specific Plan should be prepared for the area shown in Figure 4. Policy assumptions that shall guide such a study include:

- ✓ *The retention of Reid Park.*
- ✓ *The retention of a public golf course within the Northside Study Area with generous visual access to this feature or comparable open space from the surrounding community. Basic open space relationships should be retained.*

Figure 4

Specific Plan Area



- Boundary
- ▨ Land Controlled by Utilities Dept.



**Northside
Community
Plan**

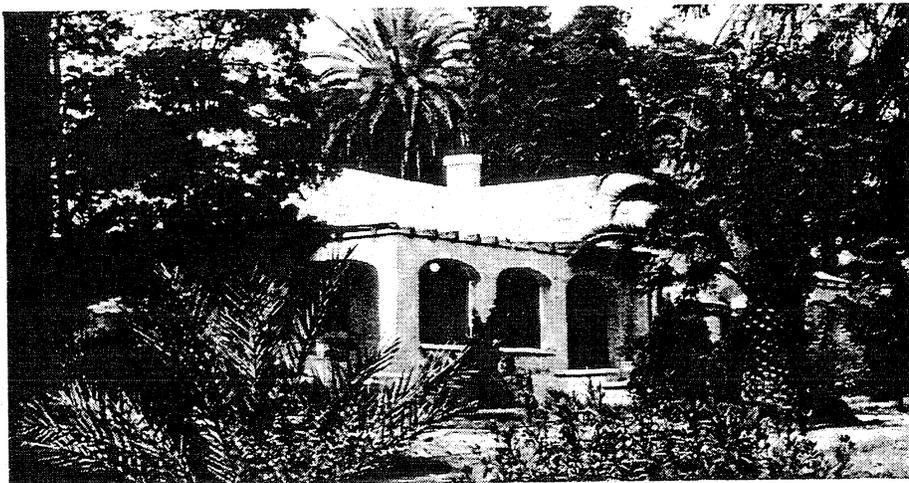
- ✓ *Consideration of various alternative land uses for properties surrounding the golf course and Reid Park to achieve optimum compatibility with these recreation facilities.*
- ✓ *The retention or possible relocation of soccer fields to an optimum location to be determined.*
- ✓ *Detailed evaluation of alternative future uses for Public Utilities Department properties in San Bernardino County including, but not limited to, recreational and industrial opportunities.*
- ✓ *The Northside Community Plan Citizens Advisory Committee shall be retained as the Review Committee for the Specific Plan or as modified by the City Council.*

F. HISTORIC PROPERTIES

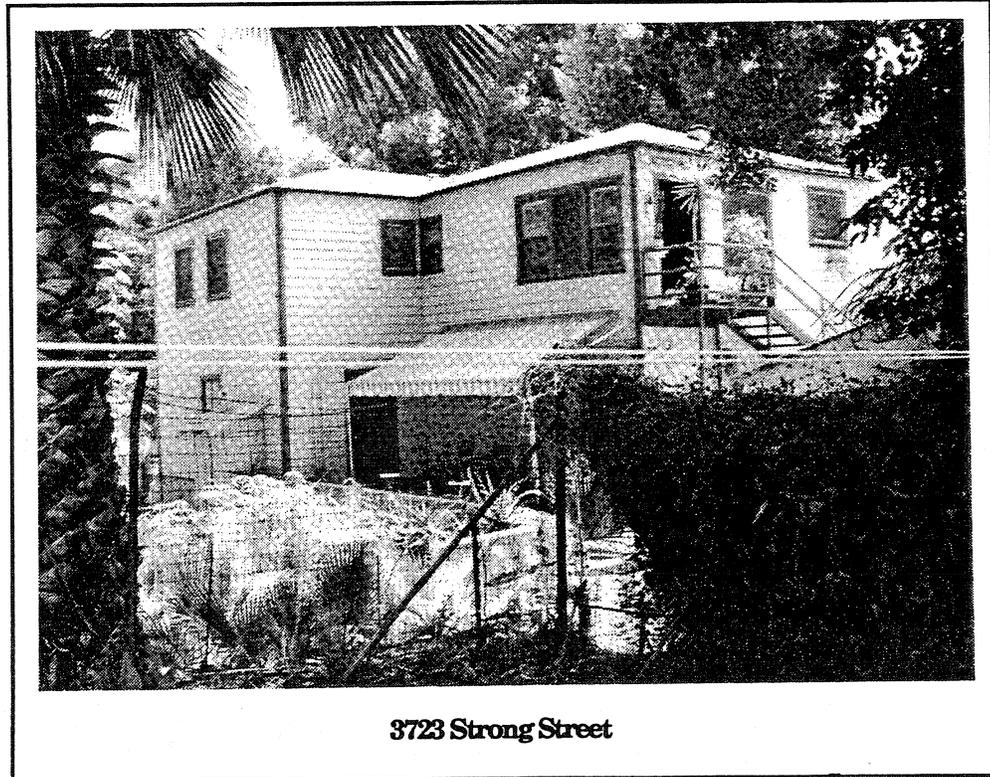
The Northside contains seven structures of potential historic or architectural interest. These include five houses that were identified by the Administrative Curator of the Riverside Municipal Museum as most clearly meeting the Cultural Heritage Board's criteria for designation as a structure of merit. The project area also includes the Trujillo Adobe and White Sulphur Springs, pictured and described below.

Policy 11 Houses of Historic or Cultural Interest

The houses at 3260, 3261 and 3723 Strong, 3720 Stoddard and 1791 Orange Street should be considered for designation as "Structures of Merit" by the Riverside Cultural Heritage Board.

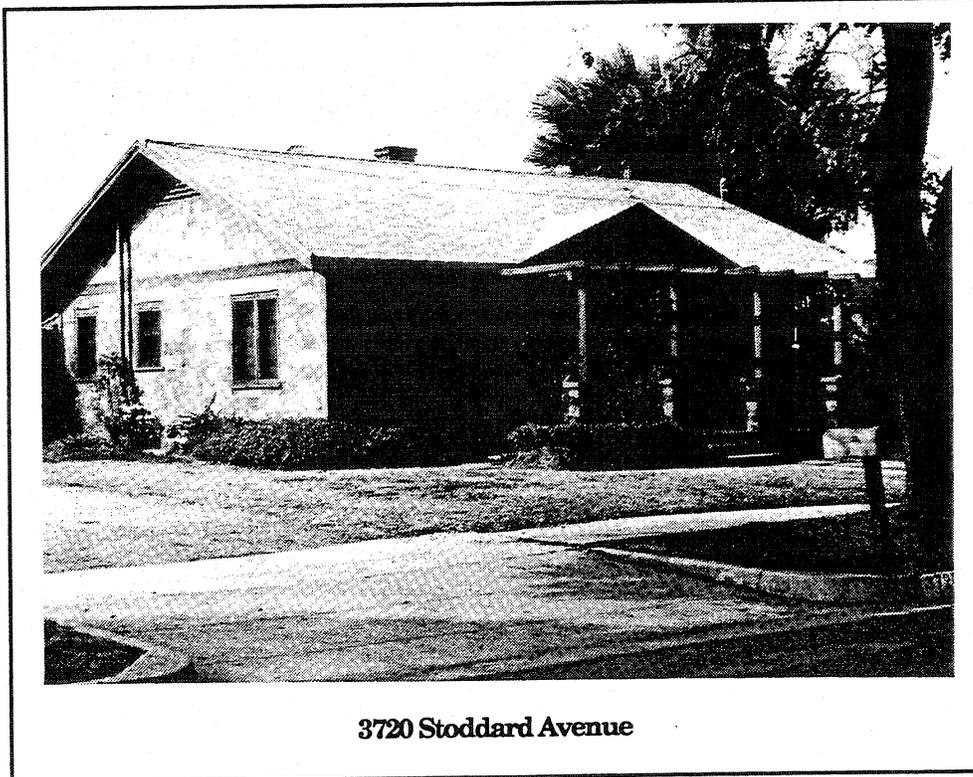


3261 Strong





3260 Strong Street

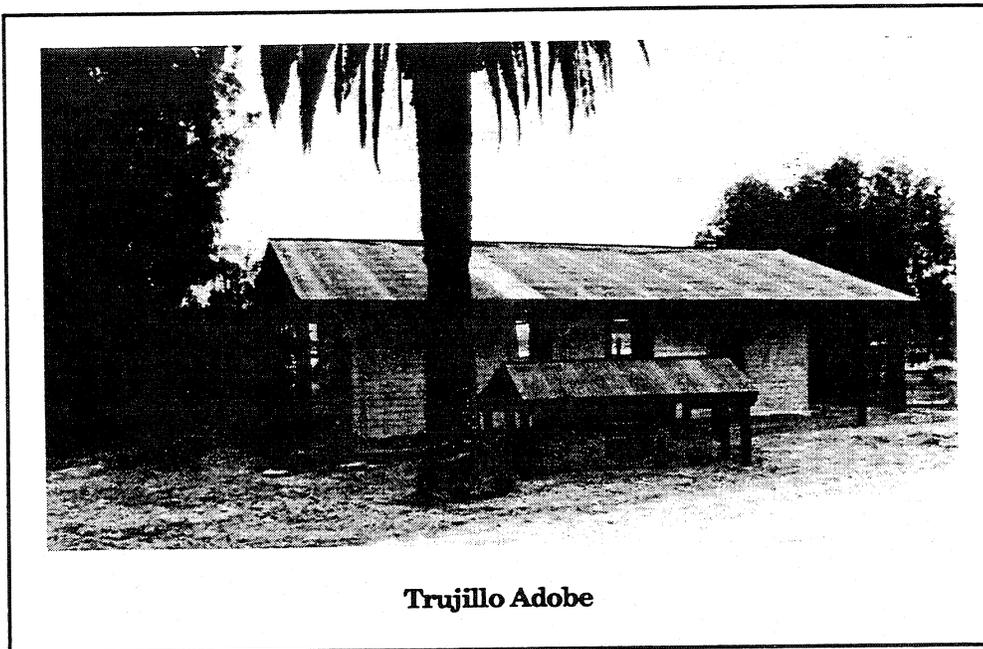


3720 Stoddard Avenue

Trujillo Adobe

The Trujillo Adobe has been dedicated as a Riverside County Landmark and a point of Historical Interest, registered with the State of California (#RIV - 009). It is the last extant adobe structure of the Spanish-speaking village of La Placita de Los Trujillos which was founded by Lorenzo Trujillo in the 1840s. The adobe house was occupied by several generations of the Trujillo family until 1957 and was donated to the county in 1978 for use as a historic park.

The Trujillo Adobe is one of the few physical evidences of Hispanic settlement in the Riverside area during the pioneer phase of the Inland Empire, 1830-1880. It is a site of great significance in the history of Riverside County and is one for which the Riverside County Parks Department has assumed stewardship obligations for its preservation as a public historic site.



Policy 12 Trujillo Adobe

The Trujillo Adobe is recognized as an important County Landmark. Land uses and public right-of-way adjacent to the Adobe should be designed to respect the Adobe and add to, rather than distract from, its setting.

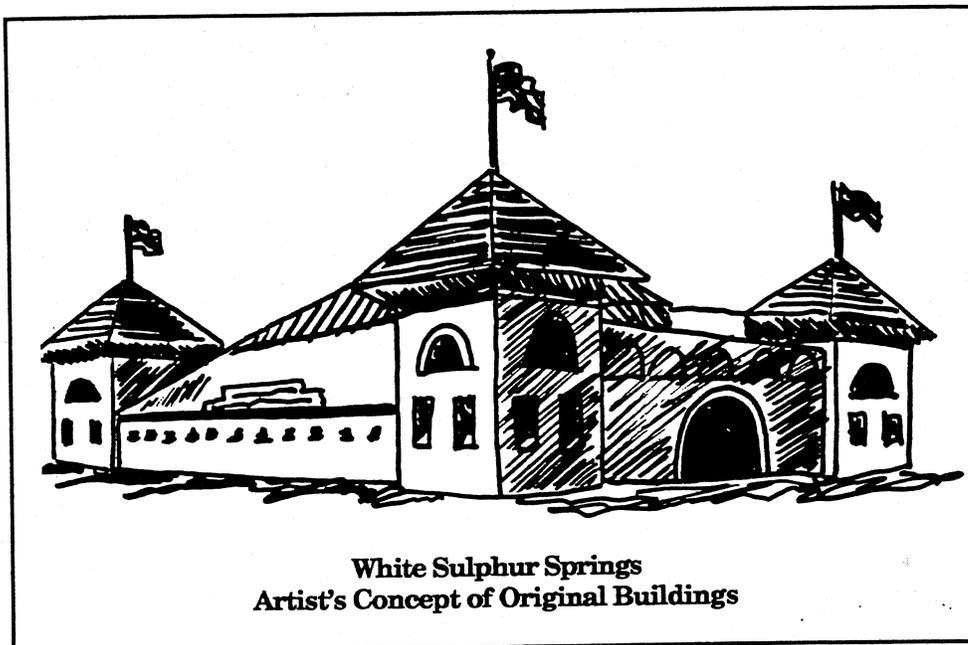
White Sulphur Springs

An interesting historic site (located 3723 on Strong Street immediately east of Orange Street) is the White Sulphur Springs pool, a former Indian spring later converted into a swimming pool.

The spring was purchased by Dr. James Greves, one of Riverside's founders, in 1876. He sold it in 1886 to William Elliott, who drilled a 370-foot well and increased the water supply. With that he installed a pool and elaborate bath house. Under him it was known as Elliotta Plunge, Elliotta Springs, and Elliotta White Sulphur Springs. Busses and carriages took patrons to it from the Mission Inn. Early Hollywood used it for swimming scenes, because of the clarity of the water. The great Houdini in one film dived to the bottom to release a girl from captivity in a safe. Buster Keaton acted in comedies and enjoyed swimming and baseball games there.

Dr. N. C. Heron acquired it in 1937 and gave it his own name. A new ownership restored the name of White Sulphur Springs in 1959.

Today the structure and pool is closed to the public and the property is being used for residential purposes. The present owner has indicated interest in restoration of the hot spring facility for public use. Existing structures are in a deteriorated state and might require removal and reconstruction of this historic spa is to be reactivated.



Policy 13 White Sulphur Springs

White Sulphur Springs adds an interesting chapter to the City of Riverside History. Private interests are encouraged to explore the

potential for restoration of the facility. The land has been placed in a medium-low density land use category which will allow a conditional use permit for a privately owned and operated hot spring and recreational facility or subdivision for single family residential development if hot spring and recreational uses are not feasible.

G. BUILDING AND PROPERTY MAINTENANCE

A 1989 survey of the Plan area revealed a number of maintenance problems as noted in Table 11. These conditions were generally spread throughout the area, however with some slight concentration in the Riverside County area.

Table 11

Building and Property Maintenance

	Riverside City	Riverside County	San Bernardino County	Total	% of Properties
Weeds or Lack of Landscaping	103	52	0 *	155	10%
Number of Properties with One or More Unregistered Vehicles	49	19	1	69	5%
Number of Unregistered Vehicles	89	49	2	140	-
Junk in Yard	12	10	0	22	2%
Structures Needing Maintenance	135	67	8	210	14%
Structures Deteriorated	42	35	0	77	5%

*This may be misleading since much of the property is undeveloped or industrial.

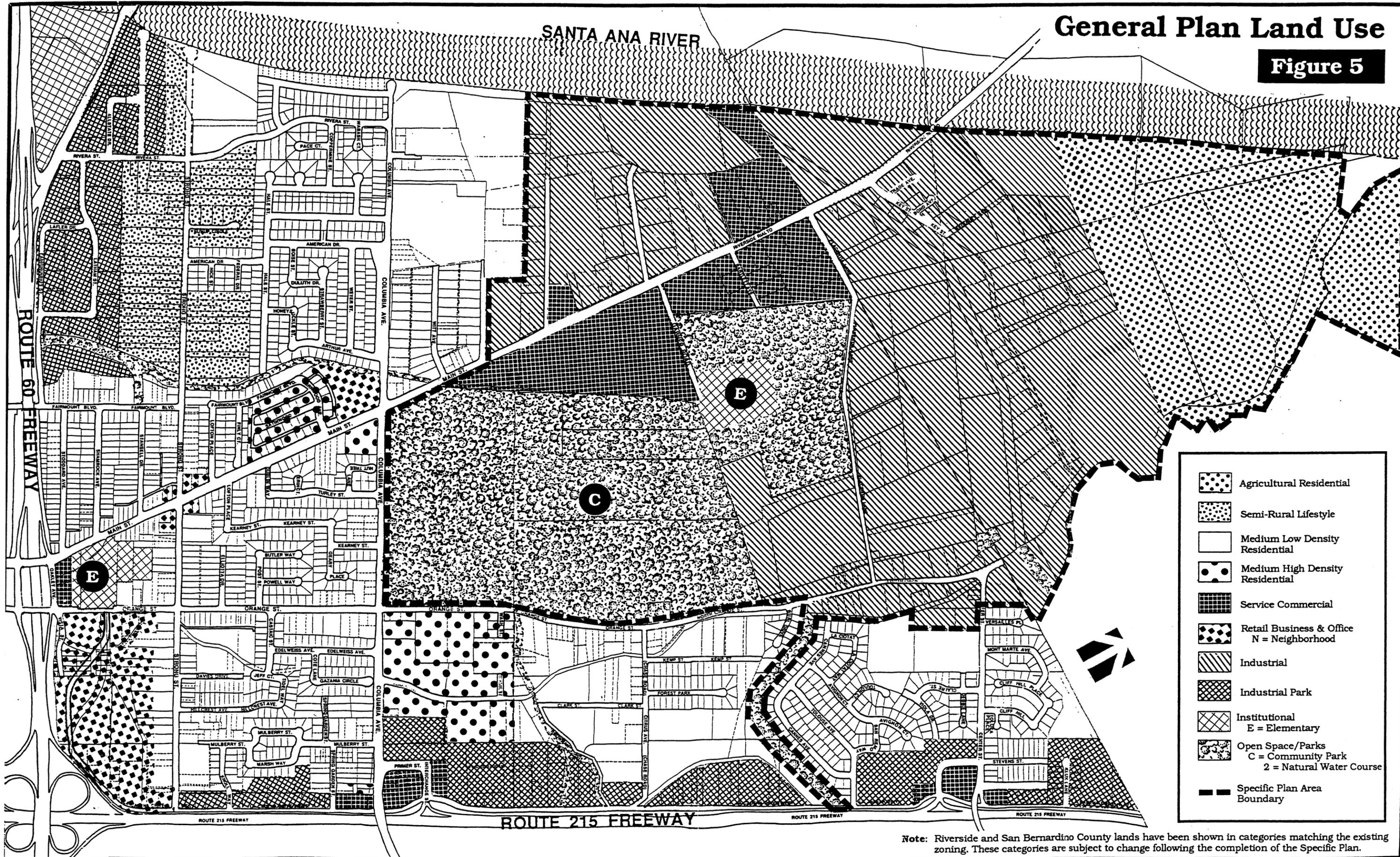
Policy 14 Buildings and Property Maintenance

The City of Riverside, and the Counties of Riverside & San Bernardino in cooperation with Northside Citizen groups should launch an aggressive campaign to:

- ✓ *Remove inoperative vehicles.*
- ✓ *Encourage property owner to remove junk in yards and replace weeds with landscaping.*
- ✓ *Repair deteriorated structures or up-grade structures needing maintenance.*

General Plan Land Use

Figure 5



-  Agricultural Residential
-  Semi-Rural Lifestyle
-  Medium Low Density Residential
-  Medium High Density Residential
-  Service Commercial
-  Retail Business & Office
N = Neighborhood
-  Industrial
-  Industrial Park
-  Institutional
E = Elementary
-  Open Space/Parks
C = Community Park
2 = Natural Water Course
-  Specific Plan Area Boundary

Note: Riverside and San Bernardino County lands have been shown in categories matching the existing zoning. These categories are subject to change following the completion of the Specific Plan.

IV. CIRCULATION

1. BACKGROUND

As part of the Background studies for the Community Plan, future (year 2010) average daily traffic and peak hour traffic was projected for the area as shown in Figure 6. As part of this projection it was assumed that West Center Street would be extended to Main Street. This analysis resulted in a number of intersections operating at Levels of Service D, E and F. Level of Service is a concept developed for national use with A being the best level of service. Normally level of service A, B and C are considered good and Level of Service D is considered the lowest Level of Service acceptable for an urban setting during peak hours of travel. With the implementation of the Community Plan policies, all intersections within the area will operate at Level C or better as shown in Figure 6.

Proposition A, approved by the voters in 1990, contains funds to improve the 60/215 Freeway interchange, widen U.S. 60 from 6 to 8 lanes and widen I-215 from 6 to 8 lanes. It appears the U.S. 60 widening could occur in the median. The I-215 widening may require additional right-of-way and could impact West La Cadena Drive and related interchanges.

Public transit service consists of one fixed bus route operating on Orange Street and West La Cadena Drive.

2. POLICIES

Policy 15 Street Classifications & Bikeway Plan

The street and bikeway classifications for the area shall be as shown on Figure 7. The Riverside County portion of Main Street is planned as an Arterial Highway (110' right of way, between the County line and Columbia Avenue) and is proposed in the Community Plan to be a 100 foot right of way. A transition between two segments will be required.

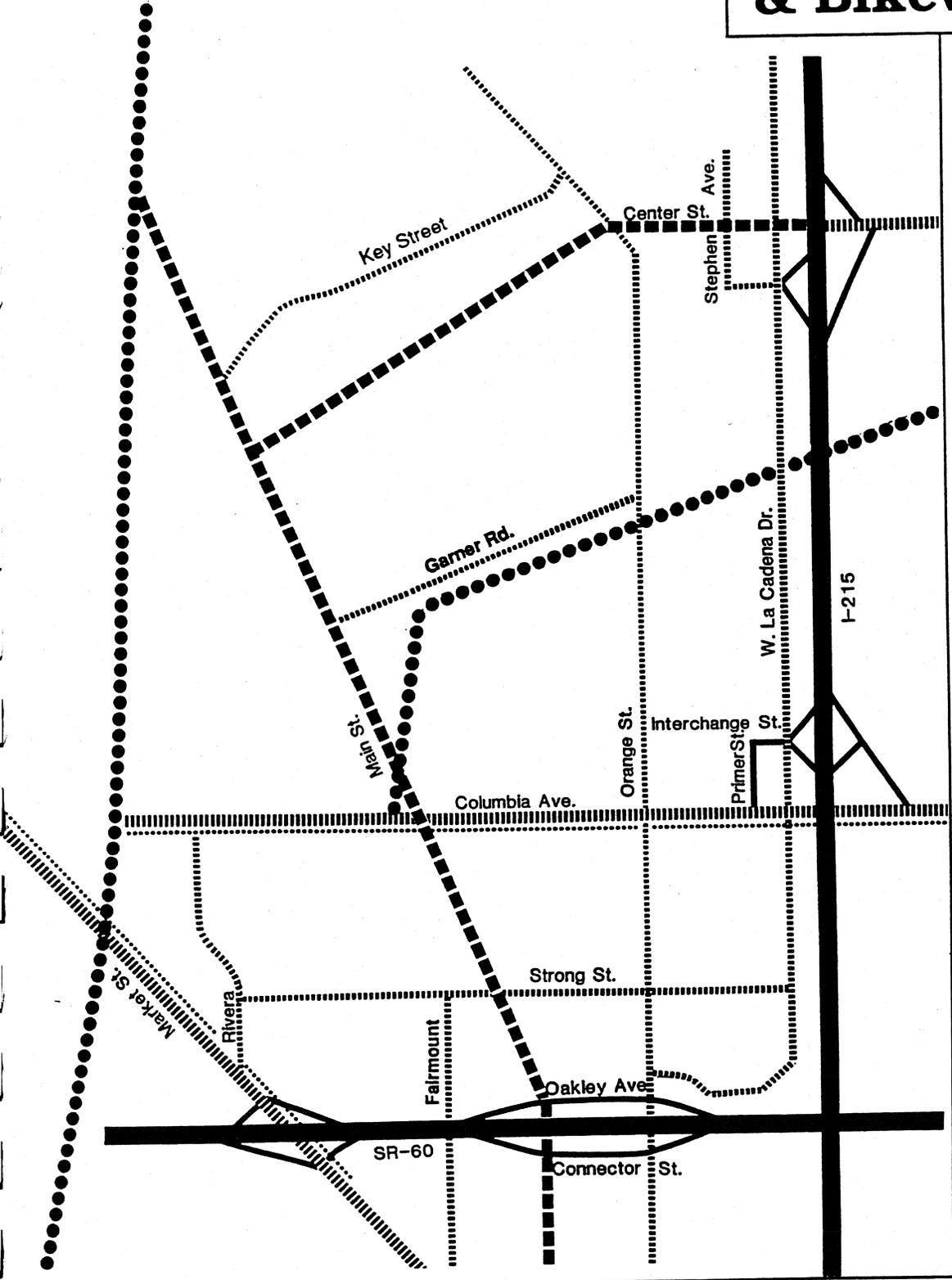
Policy 16 Construction Phasing

Street improvements in the Plan area shall be completed as necessary to maintain a Level of D or better Level of Service at peak hours of travel. The Level of Service standard for Riverside County is "C". Level of Service "D" may be permitted within one mile of a freeway interchange, subject to Board of Supervisors approval. Improvements should include:

- ✓ *Intersection Improvements*
 - *Columbia Avenue at Main Street*
 - *one left turn lane plus two through lanes eastbound*
 - *one left turn lane, one through lane, and one right turn lane westbound*

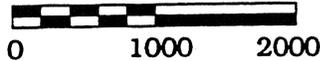
Figure 7

Street Classification & Bikeway Plan



-
66 Secondary (2 lanes)
-
88 Major (4 lanes)
-
100 Major (4 lanes divided)
-
8 Lane Freeway

- Bike Path (Class I)
A separate right-of-way exclusively for bicycles
-
Bike Lane (Class II)
A painted lane on the paved area of the roadway



Northside Community Plan

- *Strong Street at Main Street*
 - *one left turn lane plus one through lane eastbound*
 - *one left turn lane plus one through lane westbound*
- *Orange Street at Columbia Avenue*
 - *one left turn lane plus one through lane northbound*
 - *one left turn lane plus one through lane southbound*
- *Orange Street at Connector Street*
 - *one left turn lane plus one through lane southbound*
- *Orange Street at Oakley Street*
 - *one left turn lane plus one through lane northbound*
- *Main Street at Oakley Avenue*
 - *two through lanes plus one right turn lane southbound*
- ✓ *New Traffic Signals (See Figure 6)*
 - *Center Street / Orange Street*
 - *Center Street / Main Street*
 - *Market Street / Rivera Street*
 - *Market Street / U.S.-60 Westbound Ramps*
 - *Market Street / U.S.-60 Eastbound Ramps*
 - *West La Cadena Drive / I-215 Southbound Ramps (Columbia Avenue).*

Policy 17 Center Street

Center Street shall be extended to Main Street generally along the Riverside County's 1970 adopted Specific Plan right-of-way except that portion at the intersection of Center Street and Orange Street shall

be modified so that any construction or needed right-of-way is outside the Trujillo Adobe property. The grant funding for the adobe's purchase precludes any encroachment on the property. Developments on or adjacent to the proposed alignment shall dedicate the right-of-way and construct portions of the street. In order to create a new visual image for this part of the Community Plan area, the street from the I-215 Freeway to Main Street shall be constructed with a tree planted landscape median and with all utilities placed underground. The General Plan classifications should be changed from an 88 ft. Major to a 100 ft. Major.

Development on the southeast corner of the Center Street / Orange Street intersection should undergo special review. In order to accommodate the Center Street extension without impacting the Trujillo Adobe, it will be necessary to move Center Street to the south.

The City of Riverside Public Works Department is preparing a new alignment study for this facility. Said alignment should be incorporated into the proposed Specific Plan recommended in Policy 10.

Policy 18 Bikeway Construction

Construction of the proposed bikeways shown on Figure 7 should receive high priority.

Policy 19 Main Street Landscape Median

Main Street is an important entry point to downtown Riverside and sets the visual tone for the Northside Community. The construction of a landscape median should receive high priority.

Policy 20 Garner Road

Garner Road is shown on the City of Riverside General Plan as a 66 ft. Secondary Road (2 lanes) connecting Main Street to Orange Street. Since this road would duplicate the function of West Center Street, it is not needed for traffic purposes, and could intrude into the Orange Street residential and recreation corridor. As part of the Specific Plan study, recommended in Policy 10, the deletion of Garner Road from the General Plan Circulation Element should be considered.

Policy 21 Key Street

In order to accommodate future development in San Bernardino County, Key Street shall be added to the General Plan Circulation Element as a 66 ft. wide Secondary (2 lanes) facility. The precise locations within San Bernardino County shall be determined as part of the subdivision process. The alignment shall eventually connect to the extension of Orange Street north of Center Street.

Policy 22 Orange Street Extension

In order to accommodate future development in San Bernardino County, Orange Street north of Center St. shall be added to the General Plan Circulation Element as a 66 ft. wide Secondary (2 lanes) facility. The precise location within San Bernardino County shall be determined as part of the subdivision process. The alignment shall eventually connect to the extension of Key Street.

Policy 23 West La Cadena Drive

In order to handle increased commercial area traffic, West La Cadena Drive shall be extended to connect to Orange Street. Improvements should be coordinated with CALTRANS with the proposed widening of I-215 freeway. Alternative circulation for the frontage properties needs to be considered if the properties are impacted by the widening.

Policy 24 I-215 Interchanges

The existing I-215 Freeway interchanges with Center Street and Columbia Avenue are very awkward and lead to considerable confusion. As part of any I-215 widening these interchanges should be modified.

Policy 25 Strong Street

To emphasize a visual tie to the Santa Ana River, Strong Street shall be extended in a generally straight line to a cul-de-sac at the River.

Policy 26 Sidewalks

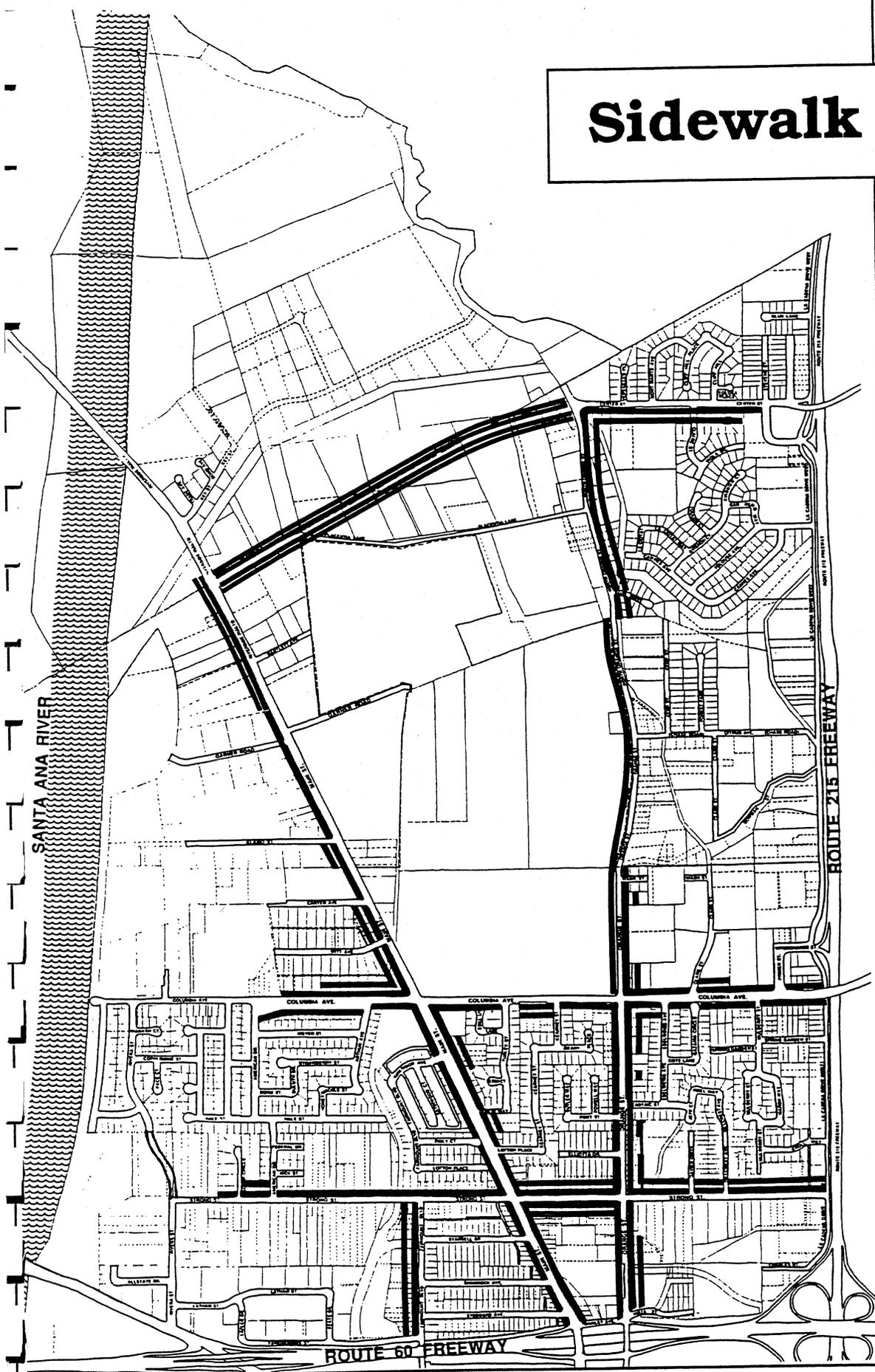
Although many of the residential areas in the Northside function well without sidewalks, there are a number of major highways that should have abutting sidewalks. These are particularly important for access to the Fremont Elementary School, Reid Park, and shopping facilities. High priority areas for the additions of sidewalks are shown in Figure 8 and listed in Table 12. The City and County of Riverside should use block grant funds and/or assessment districts to complete these sidewalks at an early date. Within the County area of the plan, the formation of assessment districts for street improvements and construction of sidewalks shall occur with development in the area.

**Table 12
Sidewalk Needs**

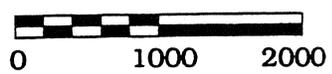
<u>Street</u>	<u>Length of Sidewalk Needed</u>
Columbia Ave	1,860'
Fairmount	1,350'
Main Street	1,720'
Orange Street	4,870'
Strong Street	3,750'
Center Street	1,550'

Figure 8

Sidewalk Needs



- Existing
- == Proposed



**Northside
Community
Plan**

V. PUBLIC FACILITIES

I. SCHOOLS

The majority of the Northside area is served by the Riverside Unified School District. The area is within the attendance boundaries of the Fremont Elementary School and the Central Middle School, although Highgrove Elementary School and University Heights Middle also draw students from within the Plan area. North High School services the Plan area. All of the schools are approaching the current classroom capacity and adjustments such as additional portable classrooms and/or facility modifications will be necessary. These adjustments will likely take place outside of the Northside area except for Fremont Elementary which is located within the Community Plan area.

Fremont Elementary School is located on 9.8 acres of land which is consistent with the Districts preferred average of 10.0 acres. The site can accommodate additional portable classrooms. A second elementary school site is shown in the vicinity of Garner Road. Although this site is not needed at the present time, it could be needed in the future due to possible new construction in the community of Highgrove.

Policy 27 Fremont Elementary - Retention & Expansion

Fremont Elementary School shall be retained as the primary focus for elementary school education in the Northside. Some modest expansion of the site is encouraged as properties may become available particularly the properties immediately adjacent to the existing parking lots on Orange Street and on Main Street. Expansion would allow for site amenities such as parking lot landscaping, improved pedestrian circulation and added parking.

Policy 28 Fremont Elementary - Visual Improvements

Site improvements should be encouraged to upgrade the Fremont Elementary school including parking lot landscaping planting of additional street trees adjacent to the curb and moving the chain link fence inland from the street to provide a pleasant landscaped space next to the sidewalk.



Main Street next to Fremont Elementary School



Fremont Elementary School

2. OVERHEAD UTILITIES

There are many overhead utility lines in the Northside area. While all new subdivisions are required to provide for undergrounding of electrical service there are no plans to underground existing lines due to the high

cost. Cost to underground lines are estimated at between \$0.9 - \$1.2 million/mile for 69 Kv lines and \$0.1 - \$0.3 million/mile for 12 Kv lines. The most visually intrusive lines are the 69 KV lines running the length of Main Street and the length of West La Cadena Drive. The 12KV lines running along Columbia Avenue and Orange Street are also major visual intrusions, particularly next to Reid Park and the Golf Course where they stand out against the open views.

Policy 29 Underground Overhead Utilities

The long term goal for the Northside is to underground all utilities. Funding should come from City and County budget allocations, possible assessment districts and CALTRANS. Given the high cost and likely long time span for implementation, priorities for undergrounding should be as shown in Table 13.

**Table 13
Underground Utilities Priorities**

Priority	Street	Cost Estimate
1	Columbia Avenue (Main to Orange Street)	\$40,000 - \$115,000
2	Orange Street (Columbia Avenue to Burl Drive)	\$70,000 - \$215,000
3	Columbia Avenue (Orange Street to West La Cadena)	\$35,000 - \$100,000
4	Orange Street (Columbia Ave to U.S. 60 Freeway) (Burl Drive to Placentia Lane)	\$75,000 - \$225,000
5	Other Streets As Funds Permit	-
*	West La Cadena Drive	\$1,750,000 - \$2,300,000
**	Center Street	\$25,000 - \$80,000

* West La Cadena Drive should be considered a special case since the overhead utilities detract from the Scenic Highway designation of this street. Undergrounding should be incorporated as part of any widening of the I-215 Freeway and funded as part of the Freeway project.

** Portions of existing Center Street and Placentia Lane that will be part of the new Center Street have existing 12KV lines. These lines should be undergrounded as part of the Center Street extension.

3. PARKS AND RECREATION

Park needs within the Northside area are primarily provided by Reid Park. This park is supplemented by Fremont Elementary School, the soccer fields, the golf course and nearby parks outside the Plan area such as Hunter Park and Fairmount Park. These facilities are adequate to serve the existing and projected population for the area as well as a variety of regional park needs.

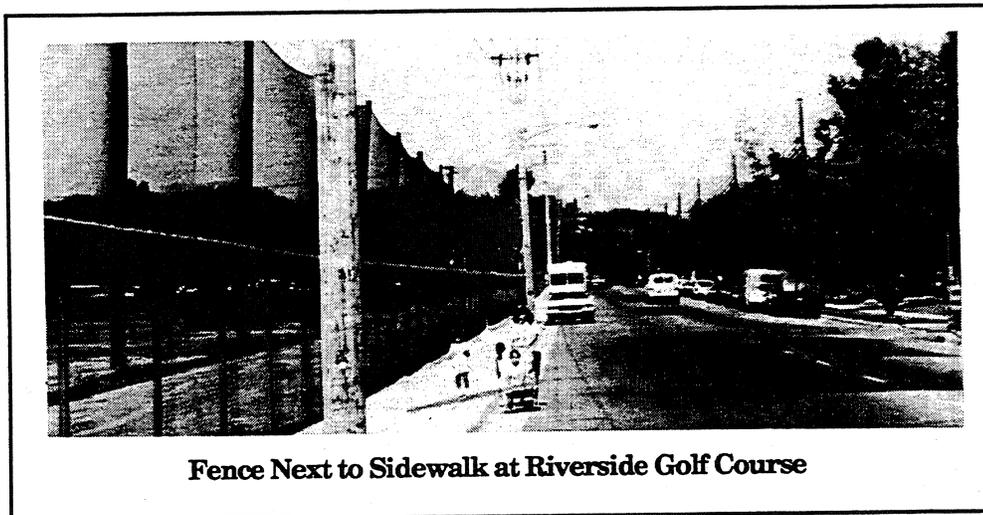
Policy 30 Retain Park & Recreational Facilities.

Reid Park and the golf course should be retained to serve community, neighborhood and regional park needs; the soccer fields should be retained or relocated to serve the entire City at an optimum location.

Policy 31 Golf Course Improvements

The golf course lease expires in 1994. As part of any new lease agreement and/or as part of the Specific Plan study recommended in Policy 10, a variety of improvements should be considered including:

- ✓ *Moving the chain link fences on Orange Street inland from the street to provide landscape space next to the sidewalk.*
- ✓ *Painting the fences a dark color so they are less noticeable.*
- ✓ *Planting trees next to the curbs on Columbia and Orange Street*
- ✓ *Replacing the Orange Street sidewalk with a pleasant meandering pedestrian scaled sidewalk with landscape maintenance the responsibility of the golf course operator.*

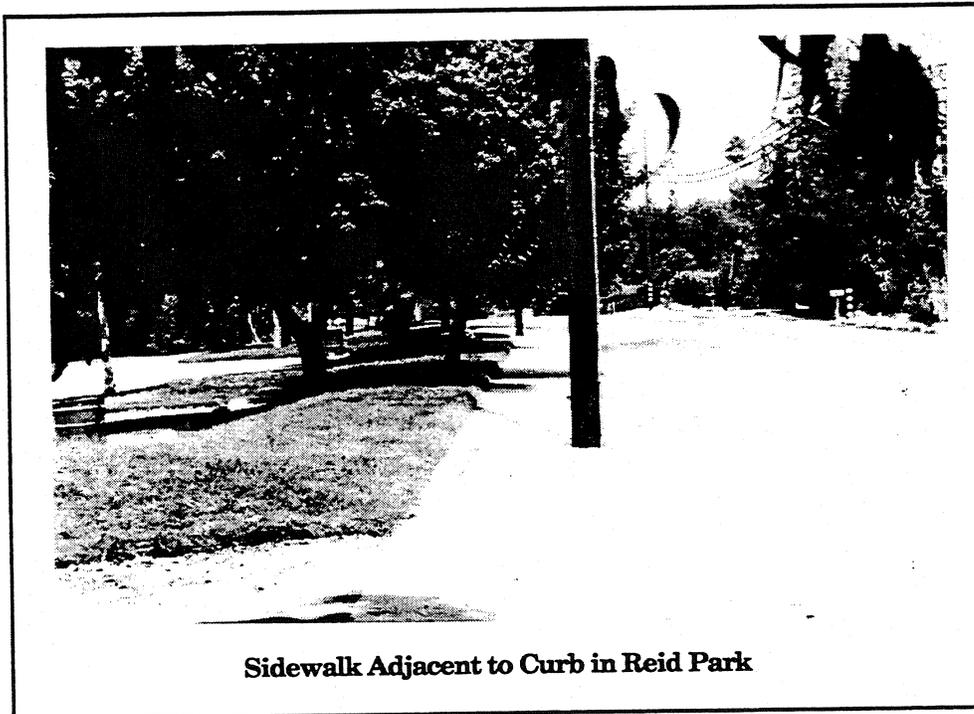


Fence Next to Sidewalk at Riverside Golf Course

Policy 32 Reid Park Improvements

The Orange Street frontage of Reid Park should be modified by:

- ✓ *Planting trees adjacent to the curb.*
- ✓ *Replacing the sidewalk with a pleasant meandering sidewalk within the Park, allowing park landscaping to be placed adjacent to the curb.*
- ✓ *Undergrounding of the overhead utilities.*



Sidewalk Adjacent to Curb in Reid Park

VI. DESIGN

1. BACKGROUND

The Northside area contains a variety of visual experiences. Predominant impressions in the area are the many trees, views to surrounding hills and a low density flavor. Commercial and industrial development in the northern area and along West La Cadena Drive generally appears minimally maintained and developed with little thought of permanence or relationship to the community.

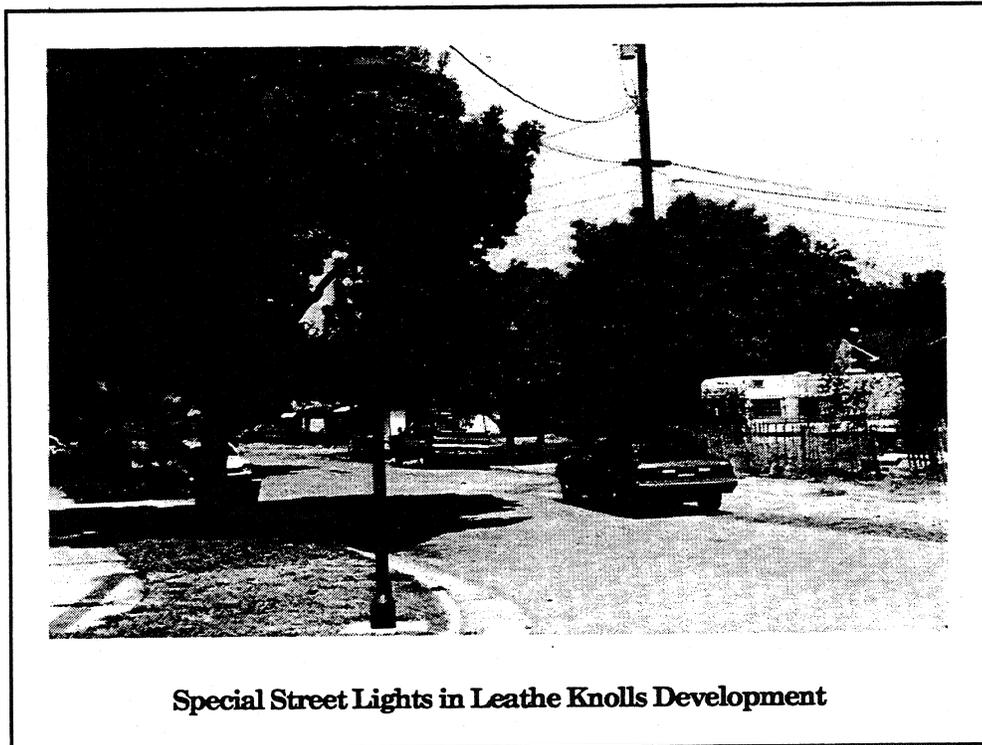
Some of the older residential areas have delightful tree lined streets with no curbs or sidewalks. Some have sidewalks located behind expansive tree lawns next to the curb.

Policies in this chapter are designed to preserve and enhance the design features of the Northside

2. POLICIES

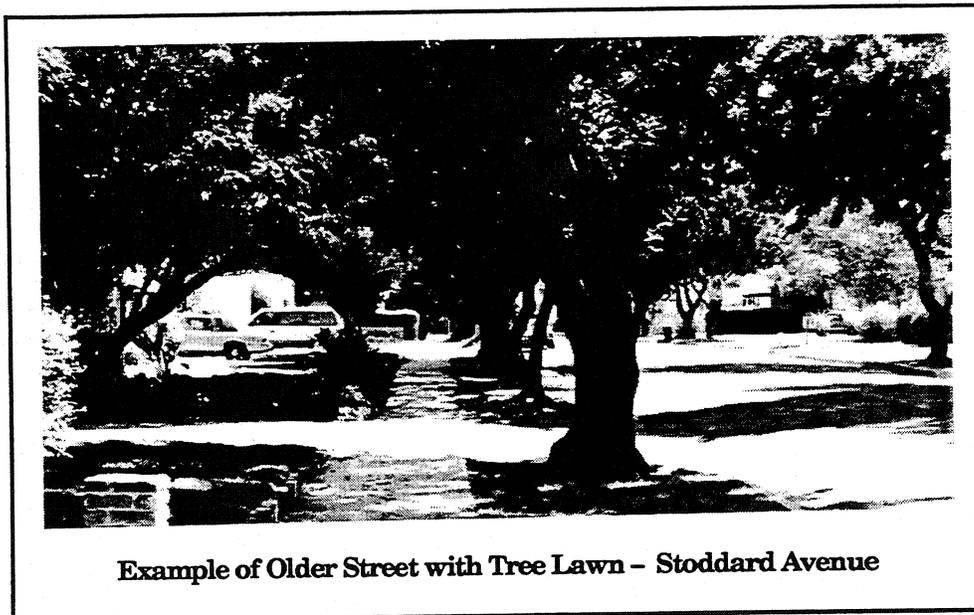
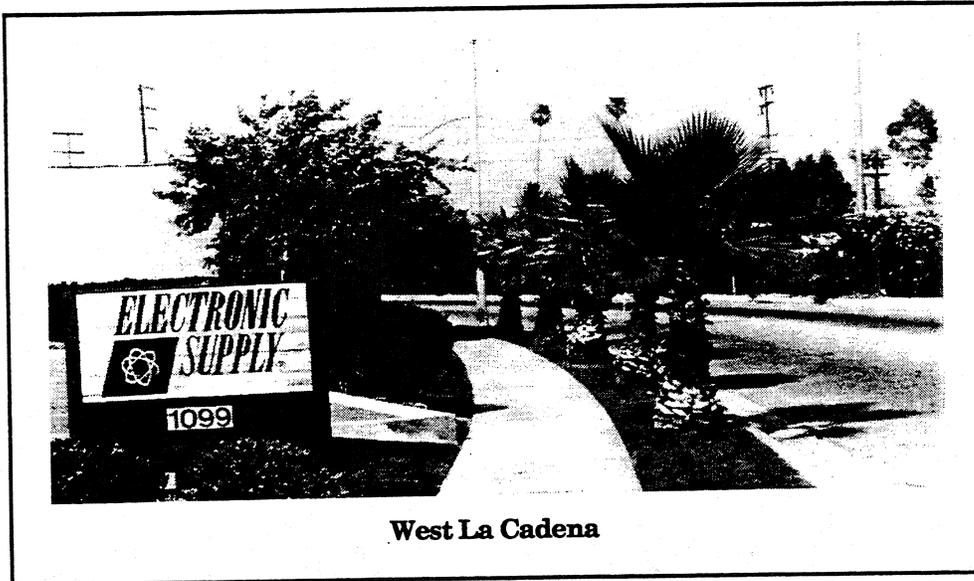
Policy 33 Street Lights

New subdivisions in the Northside shall be encouraged to use pedestrian scaled street lights such as the "town and country" model rather than the common "mastarm" type.



Policy 34 Sidewalk Locations

In order to enhance the visual qualities of the Northside, consideration shall be given to locating sidewalks at the property line as illustrated below rather than adjacent to the curb. This alternative may be used when ample space exists and when there is reasonable assurance of proper maintenance of parkway trees and landscaping by adjacent property owners.



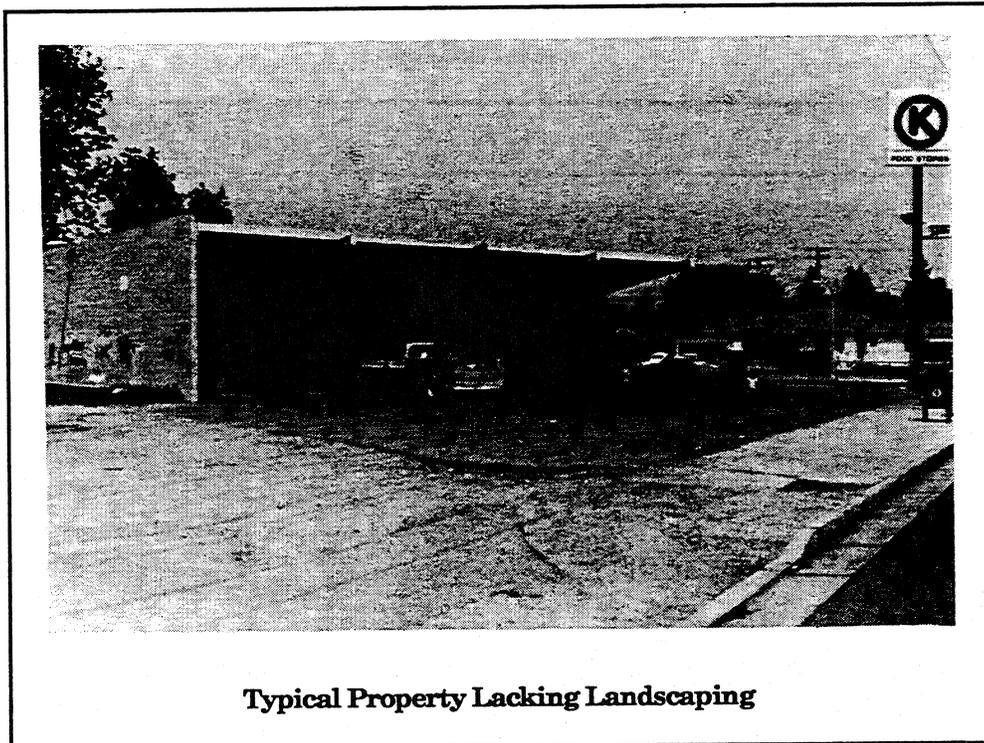
Policy 35 Street Trees

Tree varieties should be used in new developments and refurbishments, where feasible, which provide substantial shade and a canopy effect over the street.

Policy 36 Parking Lot Landscaping

Although new developments are required to landscape their parking lots, many older commercial and industrial properties exist in the Northside that have no landscaping. Black top extends lot line to lot line and to the sidewalk. The City and County should encourage such property owners to landscape their parking lots.

As an incentive for landscaping, the City in co-operation with the County should develop a property rehabilitation program which offers landscape design assistance and a partial dollar rebate on landscape installation. One source of funds for such a program would be Block Grants.



Typical Property Lacking Landscaping

Policy 37 Drainage Channels

The Northside area contains numerous drainage channels. Some of these have been placed underground, some in concrete channels and some remain in their natural state. Although there are instances when it may be necessary to construct concrete channels or go underground, the visual and environmental qualities of the community are enhanced through more natural, tree lined channels.

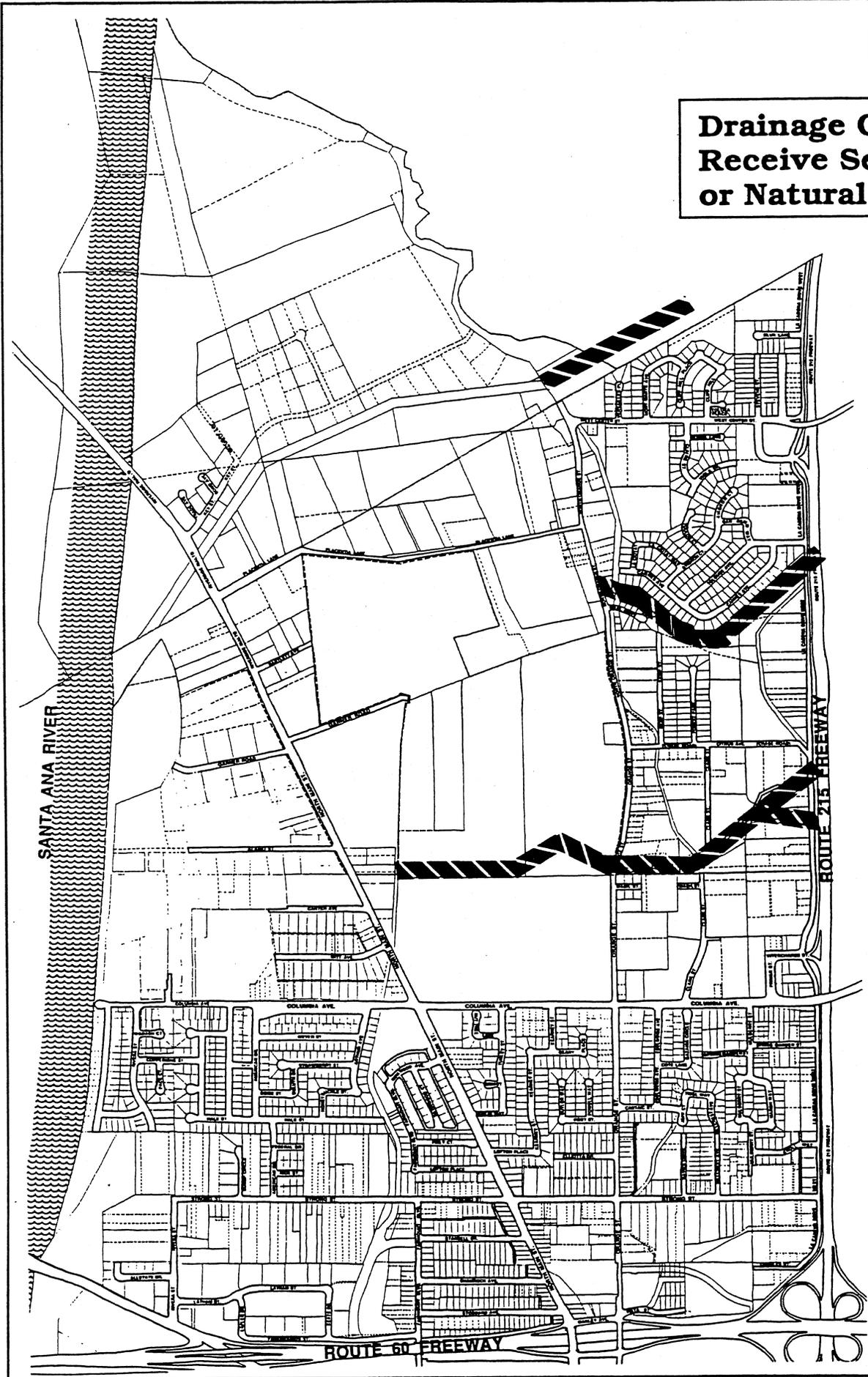
Natural appearing drainage channels of innovative design should be used in the Northside area whenever possible. Development projects should be required to develop their drainage in natural or semi-natural appearing channels. Such channels shall include but not be limited to those shown in Figure 9.



Example of a Semi-Natural Channel in Reid Park

Figure 9

Drainage Channels to Receive Semi-Natural or Natural Treatment



**Northside
Community
Plan**

Policy 38 Street Side Property Maintenance

All property owners or homeowners associations shall be responsible for landscaping and maintenance of land between the street curb and private property. Design techniques for new developments shall be used to avoid similar maintenance problems. The City and County shall undertake a program to landscape and maintain existing poorly kept reverse-frontage (backup) areas in the Northside. The creation of additional back up treatment areas should be avoided where possible. New development should be required to form a maintenance district to maintain any reverse-frontage areas.



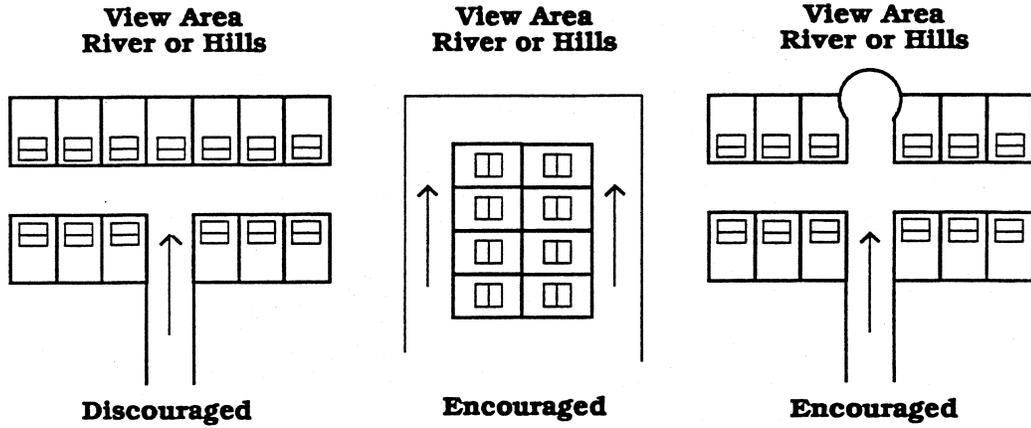
Poor Side Yard Maintenance Along Center Street

Policy 39 Views

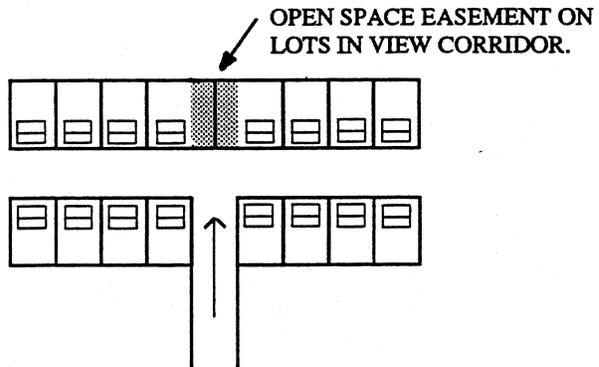
The views into and out of the Northside area set the character for much of the area. These include views of surrounding mountains, trees, Reid Park, and the Santa Ana River.

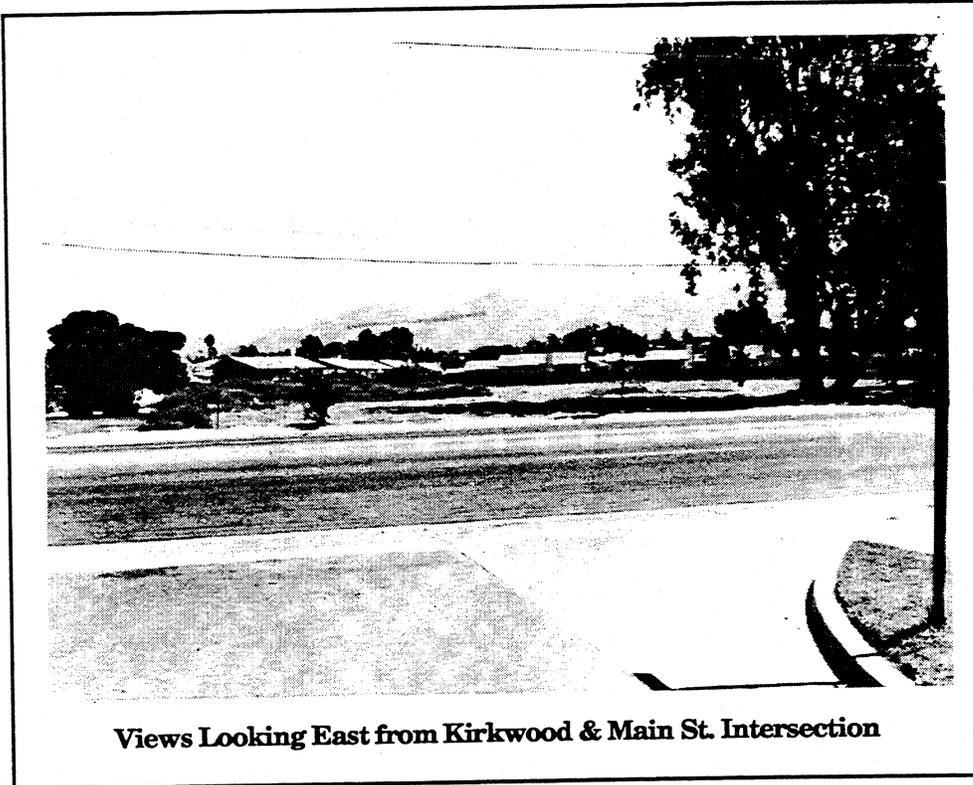
New development shall be sited so as to emphasize views out of the Northside area and not block existing views. Subdivisions shall be laid out so that streets emphasize the views. In many cases this means streets should be perpendicular to the view as shown in Figure 10. This visual corridor can also be protected by an open space easement across a portion of the lot.

**FIGURE 10
VIEWS & STREET LAYOUTS**

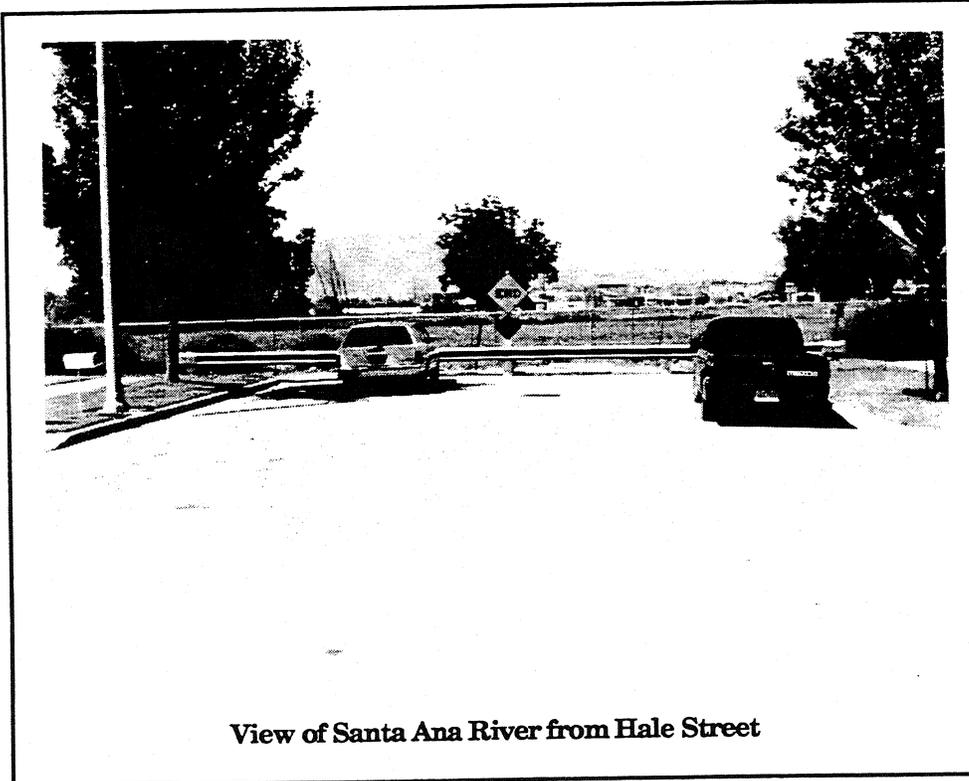


**FIGURE 11
USE AN OPEN SPACE EASEMENT ON PORTIONS OF LOTS
WHERE A VISUAL CORRIDOR CAN BE MAINTAINED**

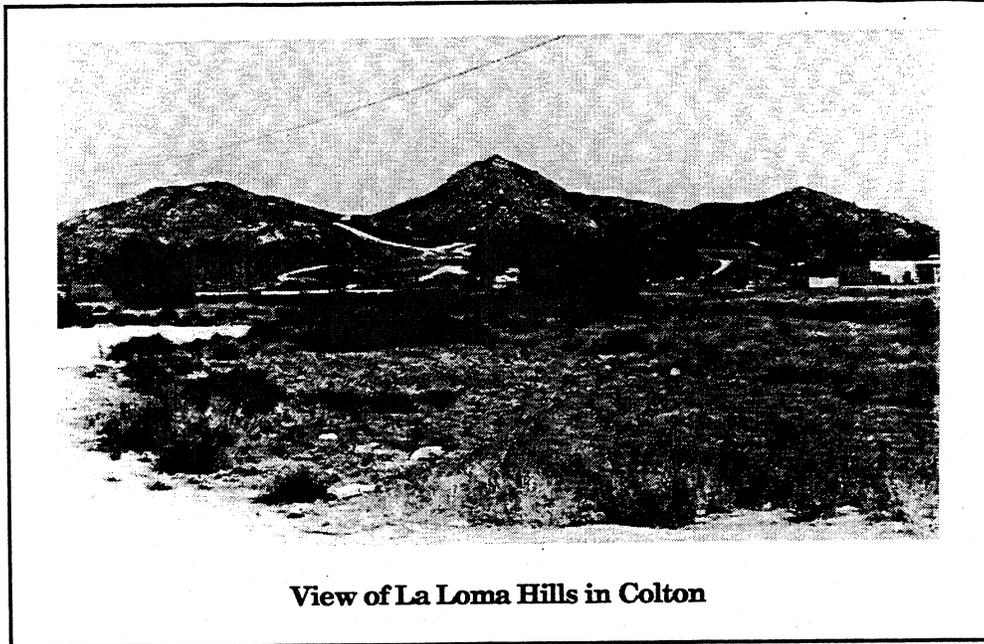




Views Looking East from Kirkwood & Main St. Intersection



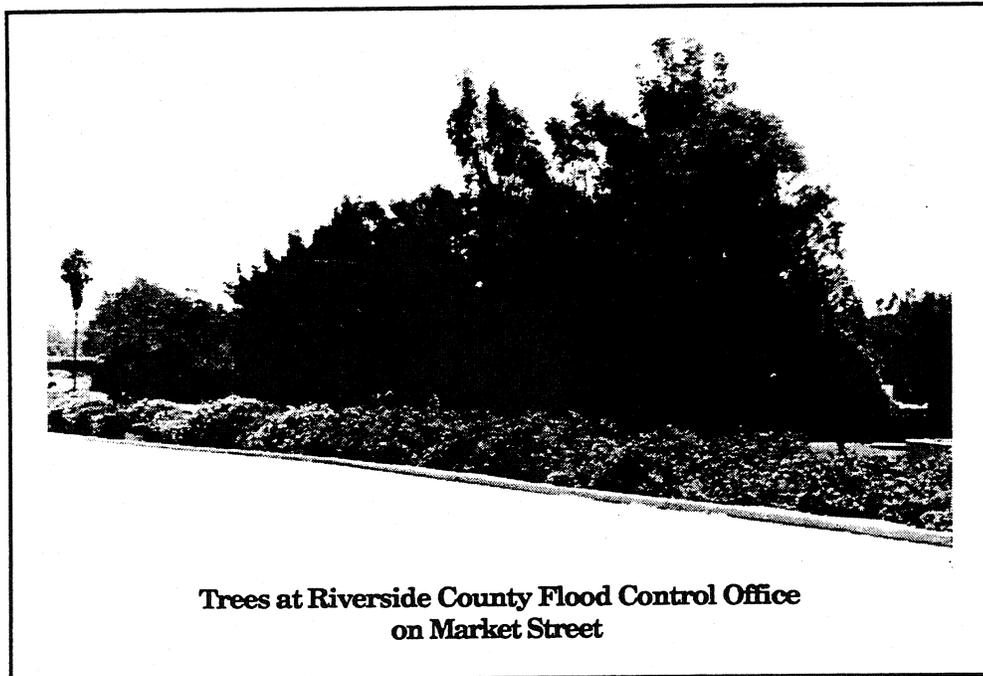
View of Santa Ana River from Hale Street



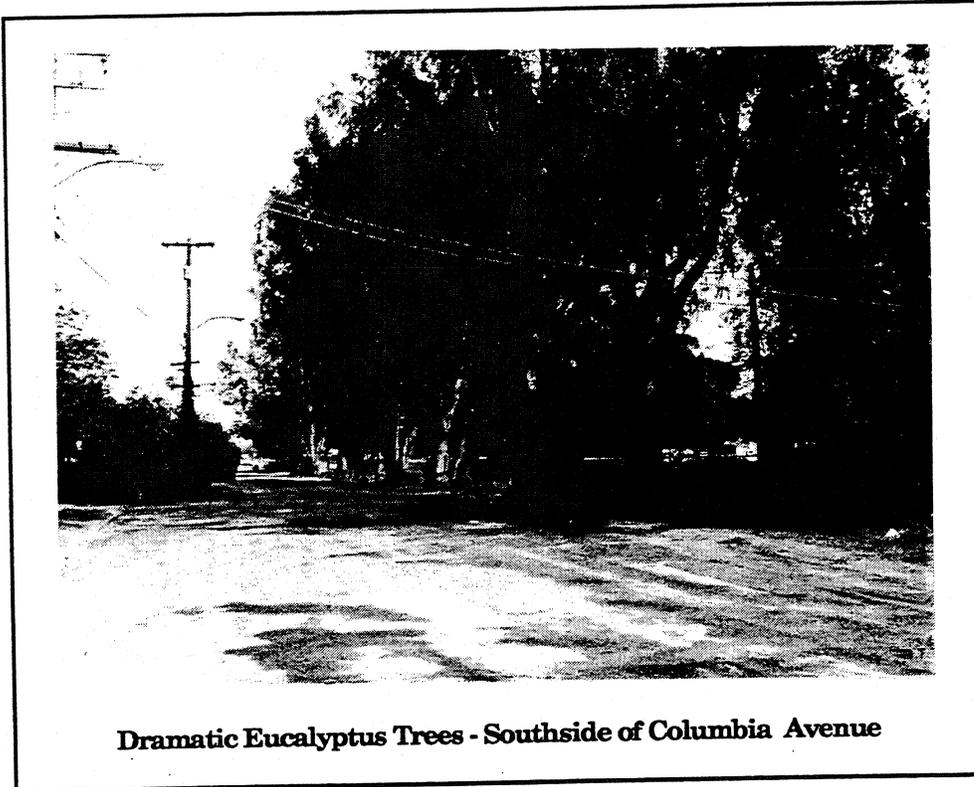
View of La Loma Hills in Colton

Policy 40 Tree Groupings

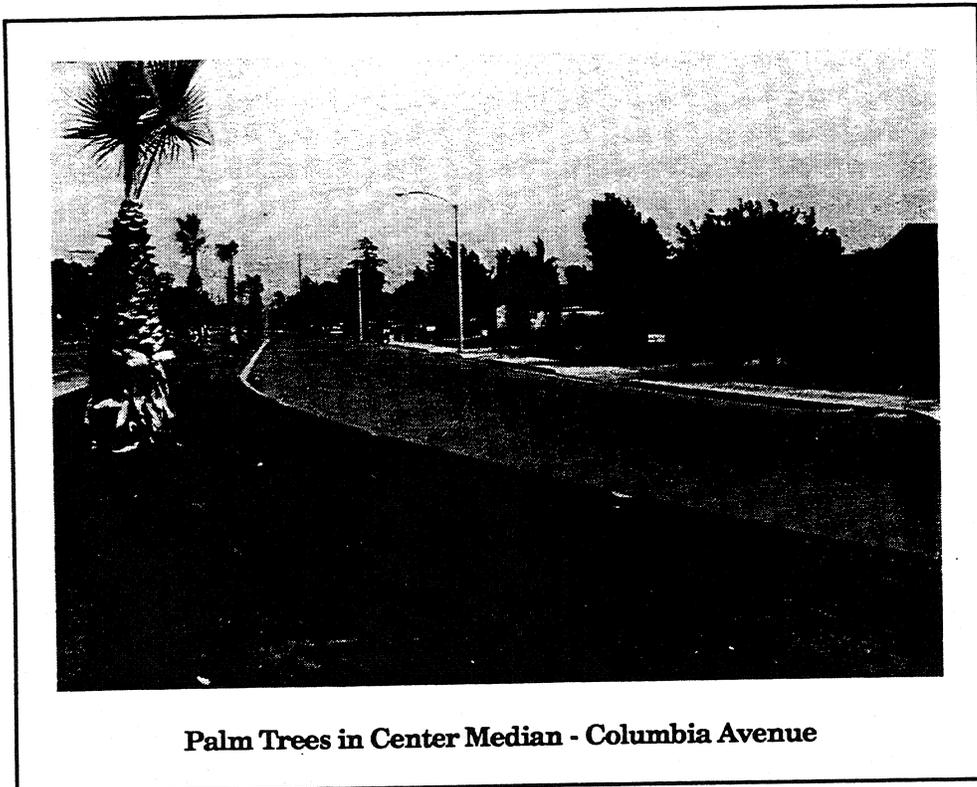
Several areas within the Northside contain large grouping of native trees that add visual interest to the area. Such tree groupings shall be preserved as part of development projects or road widenings whenever possible.



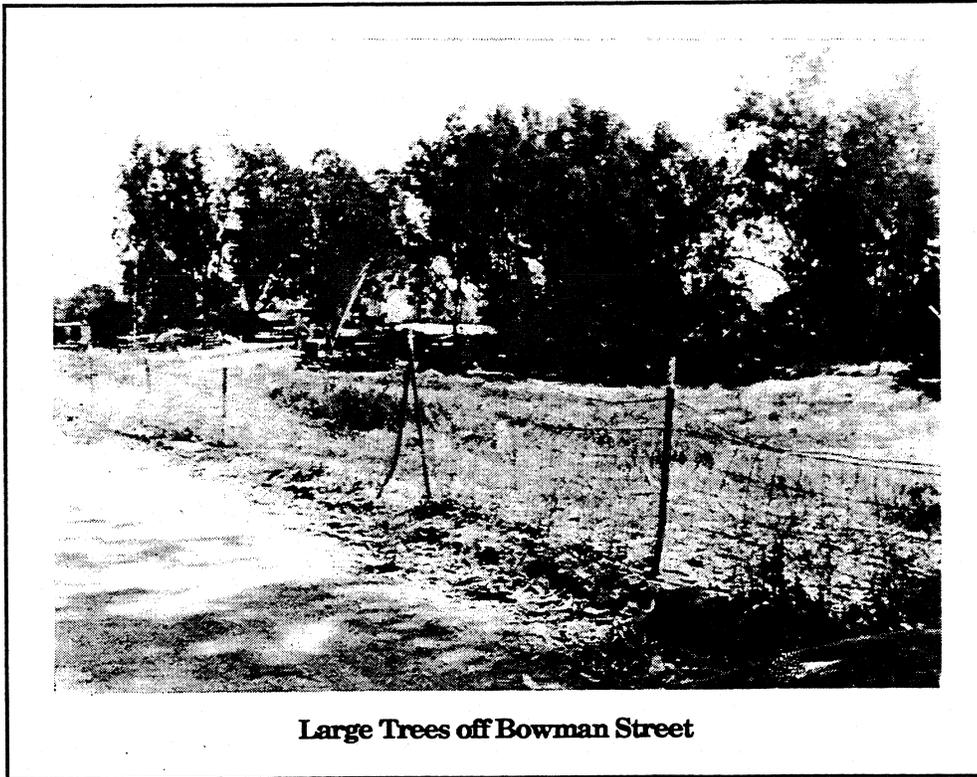
**Trees at Riverside County Flood Control Office
on Market Street**



Dramatic Eucalyptus Trees - Southside of Columbia Avenue



Palm Trees in Center Median - Columbia Avenue



Large Trees off Bowman Street

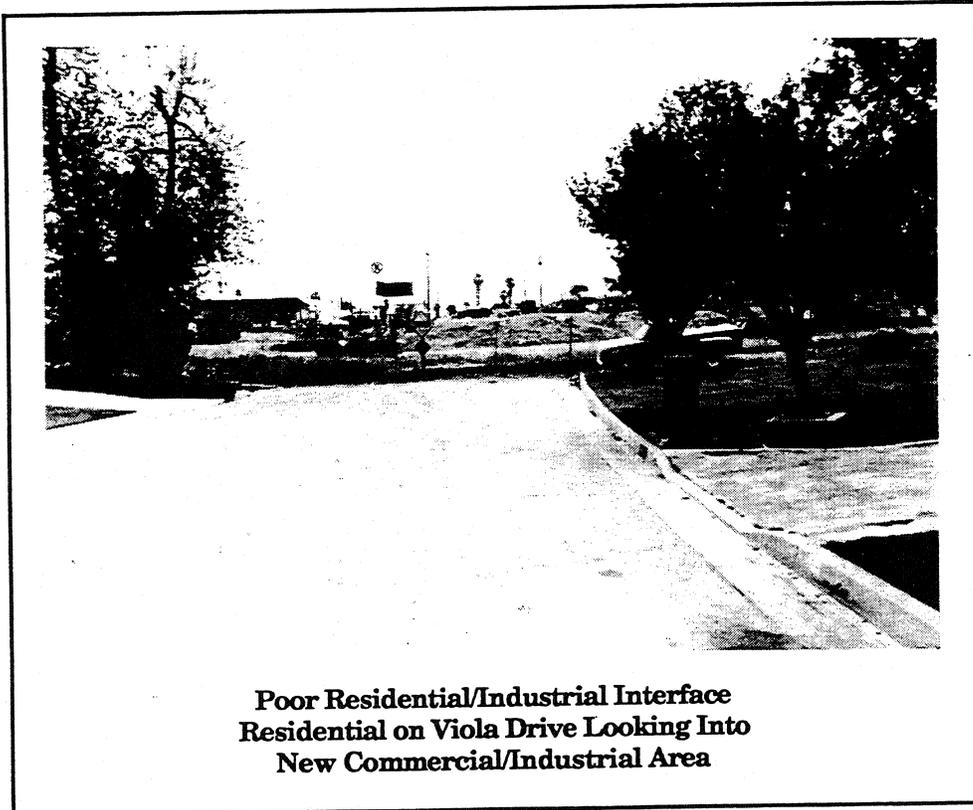
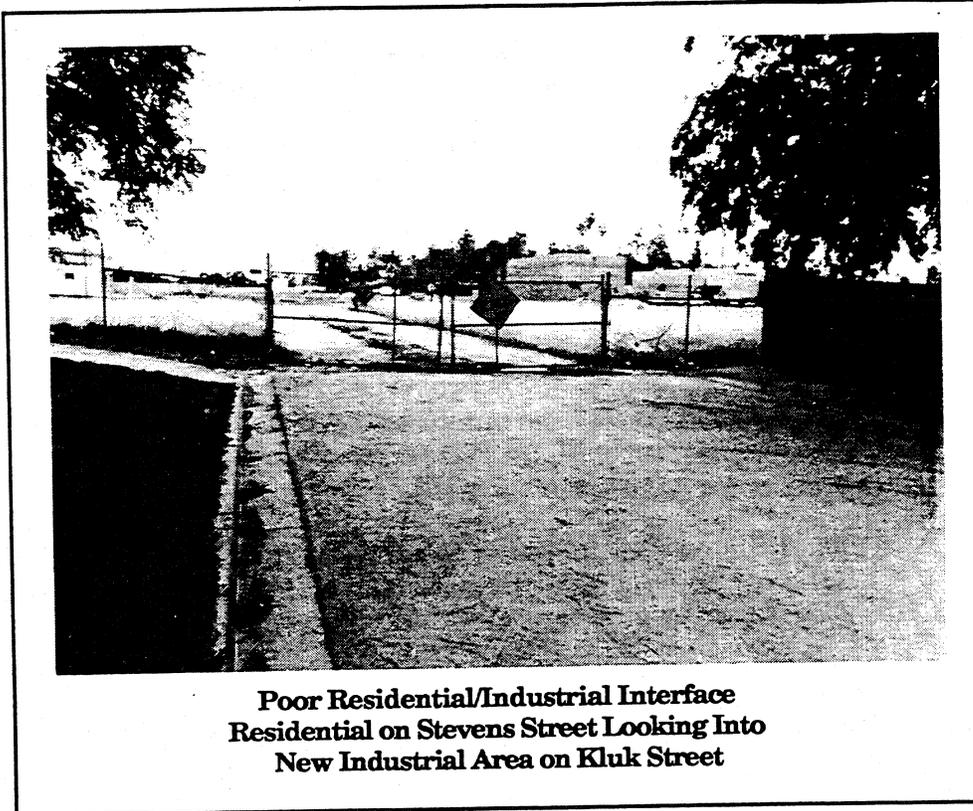
Policy 41 Residential/Industrial Interfaces

The areas where residential development abuts commercial or industrial development are very important from both a visual and psychological point of view. The view of parking lots, open storage, and unkept property can distract from residential neighborhoods and property values.

Developments at the residential/commercial juncture shall be required to:

- ✓ Construct attractive solid screen walls.*
- ✓ Plant trees to soften the view of commercial or industrial buildings.*

Dead end streets shall not be used in these circumstances. Existing dead-end streets shall be cul-de-sacs with appropriate walls and landscaping added to complete the street. Adjacent development may need to provide additional right-of-way to provide adequate circulation.



Policy 42 Freeway 60 and 215 Scenic Highways

Freeway 60 and 215 are designated as City of Riverside Scenic Highways. The following features shall be used to implement this designation.

- ✓ *Future widening of the freeways shall incorporate scenic features and maximize landscaping.*
- ✓ *The use of clusters of palm trees at interchanges such as exist at Center Street and Columbia Avenue should be emphasized.*
- ✓ *Private development on properties abutting the freeways shall include aesthetic treatment and landscaping on the freeway side of the property, i.e. the freeway shall be considered a front yard rather than a back yard.*
- ✓ *No billboard or pole signs visible from the freeway shall be allowed, to the extent consistent with Federal, State or City requirements.*
- ✓ *Overhead utility lines on West La Cadena Drive shall be placed underground.*

Policy 43 Main Street Landscape

Main Street should be lined with canopy type trees both at the curb edge and in the center median island. These canopy trees will soften the width of the street and reinforce the low density residential goal of the Northside. This will also be in contrast to the palms to be used in a formal pattern to the south of the freeway.

VII. OTHER TOPICS

I. REDEVELOPMENT

Redevelopment is a tool that can be used to eliminate blight, create jobs, increase tax base, provide funds for public improvements and generally develop a socially, economically and physically pleasing environment. Figure 12 shows an area that is a possible candidate for redevelopment.

Area A consists of properties fronting West La Cadena Drive and a number of vacant or underdeveloped parcels to the west. This area includes a variety of issues that lend themselves to being solved through redevelopment including:

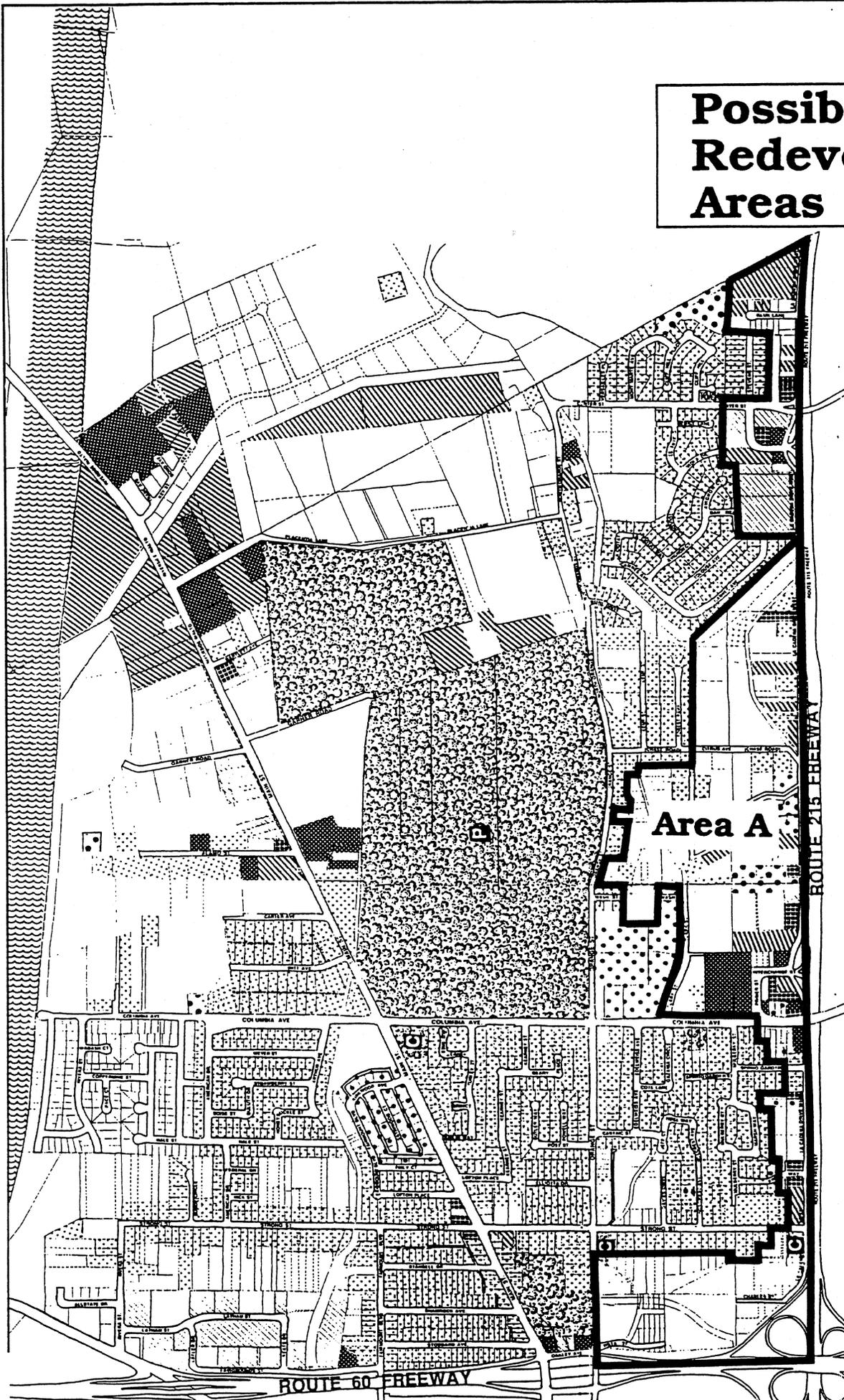
- ✓ Deteriorated structures
- ✓ Under-utilized parcels
- ✓ Difficult residential/industrial inter-face
- ✓ Lack of landscape
- ✓ Poor signs

Since many of the areas are vacant or under utilized there is also potential to generate a considerable tax increment to be used for needed public facilities and circulation improvements.

Policy 44 Redevelopment

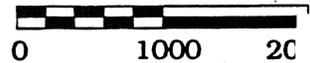
The City of Riverside, Riverside County and San Bernardino County should study the area shown in Figure 12 for possible redevelopment designation.

Possible Redevelopment Areas



Existing Land Use

-  Vacant
-  Single Family
-  Duplex, Multi-Family & Group Living
-  Mobile Homes & Trailer Parks
-  Commercial
-  Industrial & Wholesale
-  Office/Industrial
SS = Self Storage
-  Public and Institutional
S = School
C = Church
P = Park
-  Vehicle Related



**Northside
Community
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2. GOVERNMENT REORGANIZATION

The Community Plan area is split by three jurisdictions, Riverside City, Riverside County (unincorporated area) and San Bernardino County. The north and northeastern part of the Plan area is bounded by the City of Colton which includes the La Loma Hills. Although these dramatic hills would normally be considered a likely place for a jurisdictional split, the City of Colton has included the San Bernardino County portion of the Plan area in its Sphere of Influence Area, implying the desire for future annexation. These split jurisdictions of the Plan area can create a variety of problems in creating and implementing a consistent development plan as well as providing services to the area.

In order to simplify the jurisdictional question the County of Riverside in 1988, initiated a procedure to remove 368 acres of the San Bernardino portion of the Plan area from San Bernardino County and add to it Riverside County. Approximately 50% of the land area involved is under ownership of the City of Riverside and is presently utilized for public facilities and limited commercial and agricultural uses on a leasehold basis. The county shift is considered a minor adjustment and, provided both counties approve and there is no citizen protest, the procedure is relatively simple. When the action came up to hearing, San Bernardino County objected to the change and the procedure was terminated. However, as part of the procedure, it was recommended that the two counties meet to work out an agreement.

During 1988, the City of Colton petitioned to annex the unincorporated San Bernardino County portion of the Plan area as well as an area to the northwest of the Santa Ana River. This annexation was defeated due to a majority of property owners protest.

In 1990 the City of Riverside completed a major annexation of approximately 112 acres of land on both sides of Orange Street. There still remains two isolated pockets of land in the Northside under the County of Riverside jurisdiction.

One pocket of land consists of roughly 42 acres of land adjacent to Main Street. Uses in this area are industrial and wholesale and the area is a likely candidate for future annexation.

The other pocket of land lies between Route 215 and Orange Street and is largely residential consisting of 471 dwellings and mixed commercial and industrial uses facing West La Cadena Drive. This area and similar areas in the County have traditionally resisted annexation for a variety of reasons, some perhaps emotional. Before Proposition 13 there was fear of increased taxes. This is no longer the case since Proposition 13 froze the

tax rates. At this time resistance to annexation appears based primarily on fear of being forced to achieve City of Riverside development standards -- particularly conversion from septic tanks to sewers.

Policy 45 Annexation and County Shift

In order to provide for the development of the Northside Community Plan area within a logical governmental framework, all unincorporated portions of the study area within Riverside County should be annexed to the City of Riverside. The possibility of a boundary line shift between Riverside and San Bernardino Counties to follow logical geographic limits should continue to be explored as well as other means of cooperation such as a Joint Powers Agreement to unify development opportunities.

VIII. IMPLEMENTATION

A variety of implementation actions are proposed to implement the Community Plan as outlined below:

1. Plan Adoption

The Community Plan should be officially adopted by the City of Riverside, Riverside County and San Bernardino County.

2. General Plan Amendments (Circulation Elements)

A. City of Riverside

- 1) Change U.S. Highway 60 from a 6 to 8 lane freeway.
- 2) Change Center Street from a 88 ft. Major (4 lanes) to a 100 ft. Major (4 lanes divided).
- 3) Extend West La Cadena Drive as a 66 ft. Secondary street to connect to Orange Street.
- 4) Delete the Class I Bike Path along Spring Brook wash from Columbia Avenue, south to the U.S. Highway 60 Freeway.
- 5) Delete Garner Road as a 66 ft. Secondary.
- 6) The City of Riverside and the County of Riverside shall establish a Road Standard Development Task Force consisting of the City Public Works Department and the County Transportation Department to develop road standards that are consistent with the Northside Community Plan Policies and compatible with both the city and county existing road standards. Included in this study will be standards for street lighting fixtures, side walks, street trees, landscaped medians, and any road transition or alignment between the city and county area. These standards would then become part of the County's and City's Road Standards.

B. County of Riverside

- 1) Change Center Street from an 88 ft. Major (4 lanes) to a 100 ft. Major (4 lanes divided), and extend to Main Street. This change will require a Specific Plan Amendment.

See above Road Standard Development Task Force.

C. San Bernardino County

- 1) Add Key Street to the Circulation Element as a 66 ft. (2 lane) Secondary Street.
- 2) Add Orange Street to the Circulation Element as a 66 ft. (2 lanes) Secondary Street.

3. General Plan Amendments (Land Use Map)

The new General Plan Land Use Map is shown as Figure 5. Changes to the existing map are as follows:

City of Riverside

1. *done* The Semi-Rural Lifestyle category has been added along Strong Street to reflect City Council adoption of the RR Zone. This category has also been expanded to the west along a 200 ft. wide corridor to make a connection to the Santa Ana River.
2. The areas surrounding Latham Street have been changed from Visitor Commercial and Industrial to Industrial Park.
3. An area west of Fairmount Boulevard and north of Fairgrounds Street has been changed from Open Space to Industrial Park to reflect the use and zoning of this parcel.
4. *done* Several parcels at the intersection of Strong Street and Main have been changed from Medium Low Density Residential to Retail Business to reflect actual use.
5. Properties at the northeast and southeast corner of Strong and Main Street have been changed from Medium Low Density Residential to Retail Business and Office with special conditions, see Policy 5.
6. The housing development at Satinwood Court has been changed from Medium Low Density Residential to Medium High Density Residential to reflect actual use.
7. The Industrial area at the end of Carter Street has been reduced to correspond to the M-1 zoning category.
8. The large vacant parcel off Vista Street and Carter Street has been changed from Office and Retail Business to all Retail Business.
9. Two small areas west of West La Cadena Drive (between Columbia Avenue and Spring Garden Street) have been changed from Medium Low Density Residential to Medium High Density Residential to reflect actual use.

10. A number of properties fronting on West La Cadena Drive have been changed from Service Commercial to Industrial Park to reduce the strip commercial aspects of the street.

County of Riverside

1. The City of Riverside General Plan categories have been used to reflect the County's zoning categories. Land use patterns and categories are subject to change following completion of the recommended Specific Plan.

County of San Bernardino

1. The City of Riverside General Plan categories have been used to reflect the County's zoning categories. Land use patterns and categories are subject to change following completion of the recommended Specific Plan.

4. Re-Zonings

The City of Riverside and Counties of Riverside and San Bernardino should re-zone properties as necessary to implement the Community Plan.

5. Development Permits and Design Review

The City of Riverside and Counties of Riverside and San Bernardino should implement the Community Plan policies as part of their Design Review Development Permits process. Particular attention should be directed to the following policies:

Riverside City

Policy

- | | |
|----|---|
| 4 | Special Requirements - Northwest Corner of U.S. 60 and I-215 |
| 5 | Special Requirements - Northeast and Southeast Corner of Strong and Main Street |
| 6 | West La Cadena Drive |
| 8 | West La Cadena Drive |
| 11 | Historic Houses |
| 12 | Trujillo Adobe |
| 13 | White Sulphur Springs |
| 16 | Construction Phasing |
| 17 | Center Street |
| 25 | Strong Street |

26	Sidewalks
29	Underground Overhead Utilities
33	Street Lights
34	Sidewalk Locations
35	Street Trees
37	Drainage Channels
38	Street Side Property Maintenance
39	Views
40	Tree Groupings
41	Residential/Industrial Interfaces
42	Freeway 60 and 215 Scenic Highways
43	Main Street Landscape

Riverside County

Policy #

6	West La Cadena Drive
8	West La Cadena Drive
16	Construction Phasing
17	Center Street
26	Sidewalks
29	Undergrounding Overhead Utilities
33	Street Lights
34	Sidewalk Locations
35	Street Trees
37	Drainage Channels
38	Street Side Property Maintenance
39	Views
40	Tree Groupings
41	Residential/Industrial Interfaces
42	Freeway 60 and 215 Scenic Highways
43	Main Street Landscape

San Bernardino County

Policy

17	Center Street
21	Key Street
22	Orange Street Extension
33	Street Lights
34	Sidewalk Locations
35	Street Trees
37	Drainage Channels
38	Street Side Property Maintenance
39	Views
40	Tree Groupings
41	Residential/Industrial Interfaces
42	Freeway 60 and 215 Scenic Highways

6. Specific Plan

A Specific Plan should be proposed for Utility Department Land and surrounding areas as specified in Policy 10.

7. Circulation Improvements

A. Road Improvements

The City of Riverside and Riverside County should support the road improvements as specified in Policy 16 in order to maintain appropriate levels of service.

B. Bikeway Construction

The City of Riverside and Riverside County should support construction of the bikeways as shown in Figure 7 and specified in Policy 18.

C. I-215 Interchanges

CALTRANS should be encouraged to improve the I-215 interchanges as specified in Policy 24.

D. Sidewalks

The City of Riverside and Riverside County should support programs to construct the sidewalks as specified in Policies 26 and 34.

E. U.S. 60 and I-215

CALTRANS should be encouraged to implement Policy 24 and 41.

F. Center Street Extension

The City of Riverside should continue to prepare a new route alignment study for the extension of Center Street to Main Street as specified in Policy 17.

8. Design Improvements

A. Main Street Landscaping

The City of Riverside and Riverside County should support the landscape median as specified in Policy 19 and plant street trees as specified in Policy 43.

B. Fremont Elementary School

The Riverside Unified School District should be encouraged to make improvements to the Fremont Elementary school as specified in Policies 27 and 28.

C. Underground Utilities

The City of Riverside and Riverside County should adopt a long term commitment to implement Policy 29.

D. Golf Course Improvements

The Riverside Utility Department should consider Policy 31 as part of their lease negotiation for the Riverside Golf Course.

E. Reid Park Improvements

The City of Riverside Parks Department should consider Reid Park improvements as specified in Policy 32.

F. Parking Lot Landscaping

The City of Riverside and Riverside County should develop a parking lot landscape program as specified in Policy 36.

G. Riverside Cultural Heritage Board

The Riverside Cultural Heritage Board should be requested to implement Policies 11, 12 and 13.

H. Building & Property Maintenance

The City of Riverside and the Counties of Riverside & San Bernardino should launch a building and property maintenance program as specified in Policy 14 and 38.

9. Other Government Activities

A. City of Colton

The City of Colton should be encouraged to adopt Policy 2 in relation to the La Loma Hills area.

B. Redevelopment

The City of Riverside and Riverside & San Bernardino Counties should implement Policy 44.

C. Government Re-Organization

The City of Riverside and Riverside & San Bernardino Counties should implement Policy 45 regarding government re-organization.

2 RESOLUTION NO. 91-601
3 AMENDING THE RIVERSIDE COUNTY
4 COMPREHENSIVE GENERAL PLAN

5 WHEREAS, public hearings were held before the Riverside County Board of Supervisors
6 on June 25, August 27, and September 24, 1991, and before the Riverside County Planning
7 Commission on August 22, October 10, and December 19, 1990, and on January 30, March 27,
8 May 22, and July 24, 1991, in Riverside County, California, on proposed amendments to the
9 Land Use Element, the Public Facilities and Services Element (including the Circulation Study
10 Area Maps), the Environmental Hazards and Resources Element (including the Open Space and
11 Conservation Map), and the Community Policies Element of the Riverside County
12 Comprehensive General Plan, pursuant to the provisions of Government Code Section 65350 et.
13 seq.; and,

14 WHEREAS, Government Code Section 65300 requires every city and county to prepare
15 and implement a General Plan; and,

16 WHEREAS, the Riverside County Comprehensive General Plan, adopted March 6, 1984,
17 provides for the development of Community Plans to meet the unique physical, social, and
18 economic characteristics of certain areas in the County; and,

19 WHEREAS, the policies and goals contained in the Comprehensive General Plan were
20 used as a basis for Comprehensive General Plan Amendment No. 95, referred to herein as the
21 Temescal/El Cerrito Community Plan (TECP); and, Comprehensive General Plan Amendment
22 No. 322, referred to herein as the Northside Community Plan (NSCP); and,

23 WHEREAS, when adopted, the TECP and the NSCP will be integral parts of the
24 Comprehensive General Plan and will be implemented accordingly; and,

25 WHEREAS, the Board of Supervisors recognizes the distinct resources and development
26 opportunities available in the TECP and NSCP areas, and these Community Plans have been
27 prepared to guide development in order to mitigate potential environmental, economic, and social
28 impacts in each area and promote and protect the public health and welfare; and,

COUNTY COUNSEL
1991
[Signature]
TV

1 WHEREAS, a major portion of the NSCP area is in the City of Riverside, and potential
2 environmental, economic, and social impacts would affect both the City of Riverside and the
3 County of Riverside; and,

4 WHEREAS, the NSCP contains land use policies for both the incorporated and
5 unincorporated areas of the NSCP area, and when adopted by both the City of Riverside and the
6 County of Riverside, the NSCP will be an integral part of the general plan of both jurisdictions;
7 and,

8 WHEREAS, all the procedures of the California Environmental Quality Act and the
9 Riverside County Rules to Implement the Act have been met; and,

10 WHEREAS, Environmental Impact Report No. 233, prepared in connection with the
11 TECP, is sufficiently detailed so that all the potentially significant effects of the project on the
12 environment and measures necessary to avoid or substantially lessen such effects have been
13 evaluated in accordance with the above-referenced Act and Rules; and,

14 WHEREAS, the matter was discussed fully with testimony and documentation presented
15 by the public and affected government agencies; now, therefore,

16 BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED by the Riverside
17 County Board of Supervisors, in regular session assembled on December 10, 1991, that:

18 A. Comprehensive General Plan Amendment No. 95 (First and Second Supervisorial
19 Districts) is a proposal to amend the Environmental Hazards and Resources Element (including
20 the Open Space and Conservation Map), the Community Policies Element, the Public Facilities
21 and Services Element and the Land Use Element of the Riverside County Comprehensive
22 General Plan by establishing land use policies, land use designations, and revised roadway
23 designations, as set forth in the TECP text (including the Circulation Study Area Maps) and as
24 shown on the maps entitled "Temescal/El Cerrito Community Plan Land Use Allocation, CGPA
25 95, Tentatively Approved by the Board of Supervisors, October 15, 1991, as revised December
26 10, 1991" and "Temescal/El Cerrito Community Plan Trail Alignments, CGPA 95, Tentatively
27 Approved by the Board of Supervisors, October 15, 1991", and an informational map titled
28 "City of Lake Elsinore's Sphere of Influence Plan Temescal/El Cerrito Community Plan", copies

1 of which are attached hereto and incorporated herein by reference.

2 BE IT FURTHER RESOLVED by the Board of Supervisors, based on the evidence
3 presented in this matter, both written and oral, including Environmental Impact Report No. 233,
4 that the following environmental impacts associated with the future development of the TECP
5 are potentially significant, but will be avoided or substantially lessened by the identified
6 mitigation measures:

7 A. Extent of Development/Population Growth

8 1. Impact:

9 The TECP designates 19,055± acres for residential; 728± acres for
10 commercial; 2,337± acres for industrial; 4,218± acres for mining; 160±
11 acres for landfills; 121± acres for resort; and 13,292± acres for open
12 space. The TECP forecasts a population of 13,484 for the year 2010,
13 which is consistent with SCAG's GMA-4 modified population forecast and
14 the Comprehensive General Plan. The land use allocation map, however,
15 could accommodate development for a population of 50,556.
16 Nevertheless, the TECP permits the long range planning of major
17 infrastructure needs such as fire protection, schools, police, circulation,
18 water, and sewer.

19 2. Mitigation:

20 This impact will be avoided or substantially lessened as follows:

- 21 a. All development proposals are required to have commitments for
22 supporting infrastructure.
- 23 b. The TECP contains public facilities and service programs to ensure
24 the development of needed facilities. In addition, the TECP
25 designates areas for Water Resources, Parks/Forest and BLM
26 ownership where development would not be appropriate.

1 B. Cultural Resources

2 1. Impact:

3 The development of the TECP could result in site disturbances of areas
4 that are culturally sensitive. Given the findings of numerous surveys
5 conducted in the TECP area, it has been speculated that groups of Native
6 Americans were scattered throughout the Temescal Canyon in various
7 areas along and near Temescal Creek, with a larger concentration living
8 in what is now the Glen Ivy area. These people found water, natural
9 foods, and plants in this area. Therefore, the TECP area is considered to
10 have a "high" probability of archeological/historical sites.

11 2. Mitigation:

12 The impacts to archeological/historical sites will be avoided or
13 substantially lessened as follows:

- 14 a. Cultural surveys (archeological/historical) will be necessary as part
15 of the environmental review process prior to approval of any
16 development project within areas designated with at least a
17 "moderate" probability rating.
- 18 b. Any mitigation measures identified as necessary by a cultural
19 survey must be incorporated into a project design.
- 20 c. The History Division of the County Parks Department shall be
21 included in the environmental review process.

22 C. Energy Consumption and Conservation

23 1. Impact:

24 Development of the TECP by the year 2010 could generate a need for
25 255,264± million Kilowatt hours of electricity per year, 8,090,400±
26 gallons of gasoline per year for the TECP 2010 population, and 846,412±
27 million cubic feet of natural gas per year. At full buildout, the TECP
28 could generate a need for 766,693± million Kilowatt hours of electricity

1 per year, 30,333,600 gallons of gasoline per year for the TECP full
2 buildout population, and 3,115,594 ± million cubic feet of natural gas per
3 year.

4 2. Mitigation:

5 These impacts will be avoided or substantially lessened as follows:

- 6 a. Visual impacts caused by extension of utilities shall be limited by
7 requiring underground siting of lines.
8 b. Energy conservation materials shall be in conformance with Title
9 24, State Building Standards Code.

10 D. Fire Protection

11 1. Impact:

12 Development of the TECP by the year 2010 could result in the need for
13 4 additional engine companies. (The necessity of additional fire stations
14 could be dependent on the current equipment capacity and locations of the
15 existing fire stations.) At full buildout, the long range needs of the TECP
16 for fire protection would be at least one additional fire station to
17 accommodate the need for 18 additional engine companies.

18 2. Mitigation:

19 This impact will be avoided or substantially lessened as follows:

- 20 a. Funding for the construction and equipping of the necessary engine
21 companies occurs through the Fire Protection Impact Mitigation
22 Fee Program. This program requires a mitigation fee of \$400 per
23 residential unit, \$100 per RV or mobilehome space, and a \$.25 per
24 square foot of other development.

25 E. Geology

26 1. Impact:

27 The site of the TECP is subject to fault hazards, soil settlement, and land
28 and rock slide hazards.

1 2. Mitigation:

2 These impacts will be avoided or substantially lessened as follows:

- 3 a. Geological reports are required within hazard zones. Development
4 on hillside terrain shall conform to the County's Hillside
5 Development Standards.

6 F. Hydrology

7 1. Impact:

8 The development of the TECP could result in water quality impairment
9 and degradation and could have an adverse impact on the ability of the
10 land to prevent or reduce flood potential requiring extensive flood control
11 measures.

12 2. Mitigation:

13 These impacts will be avoided or substantially lessened as follows:

- 14 a. Additional control for point and non-point source wastes may have
15 to be considered.
16 b. Adequate mitigation for flood related hazards shall be required.

17 G. Library Services

18 1. Impact:

19 Development of the TECP by the year 2010 will result in the need for
20 5,941 additional library volumes, 4,719 square feet of additional floor
21 area and 7.9 additional full-time equivalent staff. At full buildout the
22 TECP will require 50,554 additional library volumes, 17,694 square feet
23 of additional floor area and 12.6 additional full-time equivalent staff.

24 2. Mitigation:

25 These impacts will be avoided or substantially lessened as follows:

- 26 a. Additional library facilities are funded through the Development
27 Mitigation Fee Program.

1 H. Medical Services

2 1. Impact:

3 The development of the TECP by the year 2010 will result in the need for
4 17 additional licensed medical beds. At full buildout the TECP will
5 require 129 additional licensed medical beds.

6 2. Mitigation:

7 This impact will be avoided or substantially lessened as follows:

- 8 a. Additional medical facilities are funded through the Development
9 Mitigation Fee Program.

10 I. Noise

11 1. Impact:

12 Development of the TECP would result in an increase of noise from
13 transportation sources as well as residential, commercial and
14 manufacturing development.

15 2. Mitigation:

16 This impact will be avoided or substantially lessened as follows:

- 17 a. Noise sensitive land uses shall be located away from noise
18 generators, and noise attenuation will be accomplished by block
19 walls, landscaping, and natural barriers.

20 J. Outdoor Lighting

21 1. Impact:

22 The development of the TECP could increase "skyglow", thereby further
23 interfering with astronomical research conducted at the Palomar
24 Observatory.

25 2. Mitigation:

26 This impact will be avoided or substantially lessened as follows:

- 27 a. Development shall conform to Ordinance No. 655 and to the
28 County's Outdoor Lighting Development Standards.

1 K. Parks and Recreation

2 1. Impact:

3 By the year 2010, the development of the TECP could result in the need
4 for 40± acres of neighborhood/community parkland, and 14± acres of
5 developed and 337± acres of undeveloped regional parkland. At full
6 buildout, 152± acres of neighborhood/community parkland, and 51±
7 acres of developed and 1,264± acres of undeveloped regional parkland
8 will be needed.

9 2. Mitigation:

10 This impact will be avoided or substantially lessened as follows:

- 11 a. An additional recreation and park district or County Service Area
12 for the development and maintenance of neighborhood parkland
13 shall be formed.

14 L. Police Protection

15 1. Impact:

16 By the year 2010 the development of the TECP could result in the need
17 for 18 additional personnel. At full buildout, the long range needs call for
18 67 additional personnel.

19 2. Mitigation:

20 This impact will be avoided or substantially lessened as follows:

- 21 a. Additional law enforcement personnel are funded through the
22 yearly budget process; the Development Mitigation Fee shall
23 provide funding needs for new facilities.

24 M. Scenic Highways

25 1. Impact:

26 The development of the TECP could detract from the beauty of the scenic
27 routes through incompatible design and appearance of new structures.

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2. Mitigation:

This impact will be avoided or substantially lessened as follows:

- a. Development shall conform to the County's Scenic Highways Development Standards.

N. Schools

1. Impact:

By the year 2010 the development of the TECP could result in the need for 3 additional elementary schools, 0 additional junior high schools and 0 additional high schools to accommodate the need for 116 additional classrooms. At full buildout the TECP will generate the need for the construction of 10 additional elementary schools, 2 additional junior high schools and 1 additional high school to accommodate the need for 433 additional classrooms.

2. Mitigation:

This impact will be avoided or substantially lessened as follows:

- a. Under Government Code Section 65995, developers are charged school impact mitigation fees of \$1.56 plus adjustment, per square foot of new residential development and \$.26 plus adjustment, per square foot of commercial/industrial construction. The County is effectively precluded by that same code section from imposing any additional requirements at the time of approval of a development project.
- b. School districts may themselves, however, further mitigate impacts through a number of programs, including, but not limited to making application for and securing special fund monies from the State and by forming Community Facilities Districts to provide additional construction funds.

1 O. Sewer Services

2 1. Impact:

3 The development of the TECP by the year 2010 would generate 3,676,923
4 gallons of effluent per day. At full buildout, the estimated sewage
5 generated for the TECP area would be 13,604,735 gallons per day.

6 2. Mitigation:

7 This impact will be avoided or substantially lessened as follows:

- 8 a. Short- and long-term regional sewage planning will be addressed
9 concurrently with the water purveyor to provide for collection and
10 disposal facilities.

11 P. Solid Waste

12 1. Impact:

13 The development of TECP by the year 2010 will result in the generation
14 of 55.3 tons of solid waste per day. At full buildout the development of
15 the TECP will result in the generation of 207.3 tons of solid waste per
16 day.

17 2. Mitigation:

18 This impact will be avoided or substantially lessened as follows:

- 19 a. There shall be long-range planning for the replacement of landfill
20 sites or alternative disposal systems to dispose of future waste.

21 Q. Traffic and Circulation

22 1. Impact:

23 The development of the TECP by the year 2010 will result in the
24 generation of 2,538,449 vehicle miles traveled per day. At full buildout,
25 the TECP will result in the generation of 7,621,581 vehicle miles traveled
26 per day.

27 2. Mitigation:

28 These impacts will be avoided or substantially lessened as follows:

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- a. The classifications of Temescal Canyon Road, El Cerrito Road, Bedford Canyon Road, De Palma Road, Highway 74, Riverside Drive, Indian Truck Trail, Lake Street, Knabe Road, Glen Ivy Road, and Nichols Road will be upgraded on the Circulation Study Area maps contained in the Public Facilities and Services Element to provide additional circulation capacity as development occurs.
- b. The community plan will require that any new land use in the Community Plan Area comply with Countywide policies relative to level of service.
- c. All commercial and industrial facilities depicted on the Land Use Allocation Map are located along secondary or greater highways.

R. Utilities

1. Impact:

The development of the TECP by the year 2010 will require an increase of 4,157 telephone lines (a 121 percent increase over current utilization).

At full buildout, the TECP will require an increase of 23,084 (a 670 percent increase over current utilization).

2. Mitigation:

The impact will be avoided or substantially lessened as follows:

- a. Visual impacts shall be limited by requiring underground siting of lines.

S. Water Supply

1. Impact:

The development of the TECP by the year 2010 could cause the consumption of 16,281,116 gallons of water per day. At full buildout, the TECP could cause the consumption of 35,607,684 gallons of water per day.

1 2. Mitigation:

2 This impact will be avoided or substantially lessened as follows:

- 3 a. Future water resources management options shall include water
4 conservation measures and wastewater reclamation.

5 BE IT FURTHER RESOLVED by the Board of Supervisors that the following adverse
6 environmental effects associated with the TECP cannot be fully mitigated despite implementation
7 of the following available mitigation measures:

8 Agriculture:

9 Development of the TECP could result in the loss of 5,712 acres of important
10 agricultural land. It should be noted that approximately half of the 5,712 acres are
11 currently under residential use.

12 The impact of the TECP upon agricultural land will be partially lessened by buffers, the
13 County "Right-to-Farm" Ordinance, conservation easements and farmland trusts. In
14 addition, agriculture in the western region of the TECP area is not economically viable
15 in the long-term due to the depletion of the soils' nutrients, regional and local growth
16 pressure and the rising costs of water and land in the area.

17 Air Quality:

18 Development of the TECP by the year 2010 could generate as much as 7,360.9 additional
19 pounds per day of carbon monoxide and 4,678.4 additional pounds per day of nitrogen
20 oxides, thereby impacting air quality. At full buildout, the TECP could generate as
21 much as 37,910.2 additional pounds per day of carbon monoxide and 19,237.7 additional
22 pounds per day of nitrogen oxides over existing conditions. This impact will be partially
23 lessened by the use of effective traffic management and control systems within the TECP
24 area. The TECP also provides a favorable jobs to housing balance ratio. Improved
25 jobs/housing balance will result in shorter traffic trips and therefore reduce potential
26 pollutant emissions in the area. Additionally, all development proposals will be reviewed
27 for improved traffic flows, park-and-ride facilities, and use of alternative transportation
28 modes.

1 Biological Resources:

2 Development of the TECP could remove or alter habitats and introduce harassment
3 factors which could impact wildlife and vegetation. This impact will be partially lessened
4 by the TECP Land Use Policies which provide for the preservation of oak woodlands,
5 riparian habitats (wherever possible and appropriate), and existing habitat for the San
6 Diego Coast Horned Lizard and Orange-Throated Whiptail, and require spring surveys
7 and mitigation for sensitive flora. A portion of the revenue from the Development
8 Mitigation Fee Program is set aside for habitat conservation and protection of open
9 space. Additionally, the County is in the process of establishing a long-term habitat
10 conservation plan for the acquisition of habitat area for the Stephens' kangaroo rat. The
11 Lake Mathews Stephens' kangaroo rat study area has been designated on the TECP Land
12 Use Allocation Map. The Comprehensive General Plan designations within this portion
13 of the TECP are primarily the same open space and conservation designations as
14 previously designated. Future development proposals within the Lake Mathews Stephens'
15 kangaroo rat study area shall be required to provide a focused biological study for the
16 Stephens' kangaroo rat and shall be processed in accordance with the terms of the
17 County's Section 10(a) permit and Implementation Agreement. Furthermore, all future
18 development proposals within the TECP, if approved, shall be required to pay fees
19 pursuant to the provisions of Ordinance No. 663 in order to mitigate impacts to the
20 Stephens' kangaroo rat.

21 Open Space and Conservation:

22 The development of the TECP could result in the loss of 1,058 acres of designated
23 agricultural lands and the loss of 1,695 acres of designated mountainous areas.
24 Mitigation measures designed to address the loss of agricultural lands are discussed in
25 the Agriculture section of this document. The impacts due to the loss of mountainous
26 areas within the TECP will be partially lessened by restricting lot sizes to 5 acres and
27 10 acres. In addition, land use policies have been created in order to preserve the
28 mountainous areas in a relatively undisturbed state. These policies refer to preserving,

1 wherever possible, the California Coastal Sage Scrub and riparian habitats, as well as
2 limiting building pad size to 10,000 square feet.

3 **BE IT FURTHER RESOLVED** by the Board of Supervisors that it has considered and
4 rejected as infeasible all the alternatives discussed in Environmental Impact Report No. 233
5 because the TECP, as recommended for approval herein, will better facilitate implementation
6 of the goals and policies of the Comprehensive General Plan, will better establish long range
7 growth patterns and will better determine public facilities and service needs.

8 **BE IT FURTHER RESOLVED** by the Board of Supervisors that it has considered and
9 rejected as infeasible alternative growth scenarios addressed in Environmental Impact Report No.
10 233 in favor of Alternative I with modifications based on the following:

- 11 1. **THE PROJECT** (84,591 Build out Population and 32,535 DU's). The
12 Project proposed in the EIR features a plan with a population of 34,035
13 more persons than that in Alternative I as modified (an increase of
14 approximately 67.3%). The Project in the EIR also includes 416 less
15 acres of commercial and manufacturing land than Alternative I as modified
16 (a decrease of approximately 13.6%). Thus, the Project proposed in the
17 EIR would create greater air quality, traffic and public service and
18 biological impacts than Alternative I as modified and accordingly has been
19 rejected in favor of Alternative I as modified.
- 20 2. **ALTERNATIVE II** (47,096 Build out Population and 18,114 DU's). This
21 alternative features a plan with a population of 3,460 fewer persons than
22 that in Alternative I as modified. This Alternative also includes 1456
23 fewer acres of commercial and manufacturing land than that in
24 Alternative I as modified. The development capacity of Alternative I as
25 modified (with approximately 7.3% more population and approximately
26 92.2% more commercial/manufacturing land than that of Alternative II)
27 would be better able to pay for the required infrastructure. Additionally,
28 with 90.2% more commercial/manufacturing land designated in

1 Alternative I than in this alternative, a more favorable jobs/housing
2 balance may be achieved. This is a crucial feature of the region's adopted
3 Air Quality Management Plan. By having a more favorable jobs/housing
4 balance, the air quality is expected to be improved. Thus, Alternative I
5 as modified was selected, rather than this lower density alternative.

- 6 3. NO PLAN ALTERNATIVE (62,109 Build out Population and 23,888
7 DU's) This alternative would, in effect, allow more development than
8 exists in 1990. It would allow an increase of 54,566 people or a 723%
9 increase over the existing population of 7,543. It has a much greater
10 potential for discontinuous and uncoordinated growth. For these reasons,
11 the No Plan Alternative has been rejected.

12 BE IT FURTHER RESOLVED by the Board of Supervisors that it has balanced the
13 benefits of the TECP against the unavoidable adverse environmental effects thereof, and has
14 determined that the following benefits outweigh and render acceptable those environmental
15 effects:

- 16 A. The TECP will promote a favorable jobs/housing balance by designating 3,070 acres of
17 the Community Plan area for commercial and industrial uses. An improved jobs/housing
18 balance in this area will assist the County in meeting the objectives set forth by the
19 Southern California Association of Governments and South Coast Air Quality
20 Management District designed to improve regional air quality.
- 21 B. The proposed land use map will provide designations that will establish a transition
22 between land uses in a manner that promotes land use compatibility and the efficient use
23 of public facilities.
- 24 C. The TECP will provide needed mitigation programs to lessen the impacts on public
25 facilities and services and environmental hazards and resources. Such programs include
26 policies requiring residential projects to be annexed into an existing parks and recreation
27 district or CSA providing for park maintenance, identification of community trails, and
28 policies protecting mineral resource areas, scenic corridors, ridgelines and riparian and

1 biological resources.

2 BE IT FURTHER RESOLVED by the Board of Supervisors that the TECP is consistent
3 with the goals and policies of the Comprehensive General Plan, and specifically meets the
4 following goals:

5 A. Administrative Element

- 6 1. Maintain a general plan that reflects and implements County policies.
- 7 2. Maintain general plan responsiveness for changing conditions and needs.

8 B. Land Use Element

- 9 1. Maintain and improve the quality of life in Riverside County, and protect the
10 public health, safety and welfare.
- 11 2. Attain a County growth pattern which is orderly and efficient.
- 12 3. Achieve a well-balanced and diversified economy within the County, with a
13 variety of economic and employment opportunities.
- 14 4. Develop those areas where necessary public services can be provided and where
15 development is compatible with surrounding land uses.
- 16 5. Distribute commercial facilities in a manner that will provide an adequate supply
17 of goods and services to the residents of Riverside County.
- 18 6. Retain as open space those lands containing important natural resources, such as
19 scenic beauty, sensitive vegetation, wildlife habitats, and historic or prehistoric
20 sites, or which are subject to environmental hazards, such as seismic hazards,
21 flooding, and hazardous slopes.

22 C. Regional Element

- 23 1. Ensure that the distribution of future growth is related to adequate regional
24 facilities and environmental management.

25 D. Housing Element

- 26 1. Preserve and enhance the County's urban and rural communities.
- 27 2. Provide sufficient, suitable residential sites and housing supply to meet projected
28 future housing needs.

3. Select housing that is decent, sound, in close proximity to jobs and daily activities, and which varies by location, type, design and price.

E. Public Facilities and Services Element

1. Develop a well-balanced circulation system which will provide for the economical, efficient and safe movement of people and goods within and through Riverside County.
2. Develop a circulation system which is compatible with the environment and serves the needs of current and future land uses.
3. Utilize existing infrastructure and public services to the maximum extent and provide for the logical, timely, and economically efficient extension of infrastructure and services.
4. Encourage infilling and contiguous growth, and promote a clustered concentrated form of development in heavy urban and urban areas.

F. Environmental Hazards and Resources Element

1. Minimize injury to life and damage to property from natural and man-made hazards.
2. Limit, or use design requirements for, development of lands having lower suitability for development due to steep slopes, fire risk, flood hazards, seismic conditions, or other physical hazards.
3. Maintain a healthy living environment by minimizing pollution of the air, water, and land, and by maintaining acceptable low noise levels.
4. Ensure the preservation of open space for scenic and aesthetic beauty, viewsheds, recreation, the conservation of natural and historic resources, the separation and definition of development areas, and the control of hazards.
5. Protect and enhance the environment through the conservation of natural resources and the careful management of their development and use.
6. Recognize and protect rare, threatened, and endangered species of wildlife and vegetation as important County resources and a source of natural diversity.

- 1 7. Compile and catalog environmental information in order to identify development
2 threshold levels for areas with various environmental constraints and resources.
- 3 8. Recognize and promote the conservation of unique species of wildlife and
4 vegetation found within a locale as important County resources.
- 5 9. Encourage the preservation and growth of agriculture while providing sufficient
6 flexibility in land uses and densities to allow agricultural land to phase into other
7 land uses.
- 8 10. Promote the conservation of energy generated from non-renewable sources, and
9 promote the use of alternative energy sources.

10 G. Community Policies Element

- 11 1. Promote the establishment of community identity through citizen participation and
12 development design in communities.
- 13 2. Recognize the unique conditions, needs or values of community areas within the
14 County through the development of community policies for those areas.
- 15 3. Develop policies in conjunction with the incorporated cities within the County,
16 for those spheres of influence where unique policies are needed.

17 BE IT FURTHER RESOLVED by the Board of Supervisors that the TECP is also
18 consistent with the goals and policies of the Comprehensive General Plan for the following
19 reasons:

- 20 1. The TECP further defines the Land Use Determination process contained in the
21 Comprehensive General Plan by applying specific land use categories within the
22 study area. The TECP designates specific areas for commercial, industrial,
23 mining and residential development with permitted intensity. The TECP also
24 designates areas with National Forest and Bureau of Land Management
25 designations to ensure the preservation, maintenance, and protection of important
26 natural resources and the recognition of environmental hazards.
- 27 2. The TECP provides for the logical development of the area and for the protection
28 of open space, by determining the location and extent of natural resources and

1 environmental hazards, level of public services, and capacity of public facilities.

2 3. The TECP provides for economic growth in the area by permitting the
3 development of various intensities of commercial and industrial development.

4 4. The TECP and the policies contained therein provide for the logical extension of
5 public facilities and services based on the allocation map and forecasted
6 population growth.

7 BE IT FURTHER RESOLVED by the Board of Supervisors that it has reviewed and
8 considered Environmental Impact Report No. 233 in evaluating the TECP, that Environmental
9 Impact Report No. 233 is an accurate and objective statement that complies with the California
10 Environmental Quality Act, that Environmental Impact Report No. 233 is certified, and that
11 Environmental Impact Report No. 233 is incorporated herein by reference.

12 BE IT FURTHER RESOLVED by the Board of Supervisors that it CERTIFIES
13 Environmental Impact Report No. 233 and ADOPTS Comprehensive General Plan Amendment
14 No. 95, as set forth in the TECP text and diagrams and as shown on the maps entitled
15 "Temescal/El Cerrito Community Plan Land Use Allocation, CGPA 95, Tentatively Approved
16 by the Board of Supervisors, as revised December 10, 1991" and "Temescal/El Cerrito
17 Community Plan Trail Alignments, CGPA 95, Tentatively Approved by the Board of
18 Supervisors, October 15, 1991", and an informational map titled "City of Lake Elsinore's Sphere
19 of Influence Plan Temescal/El Cerrito Community Plan".

20 B. Comprehensive General Plan Amendment No. 322 (Second and Fifth Supervisorial
21 Districts) is a proposal to amend the Environmental Hazards and Resources Element (including
22 the Open Space and Conservation Map), the Community Policies Element, the Public Facilities
23 and Services Element and the Land Use Element of the Riverside County Comprehensive
24 General Plan by establishing land use policies and land use designations, as set forth in the
25 NSCP text and as shown on the map entitled "Northside Community Plan, as Adopted by the
26 Board of Supervisors, September 24, 1991," a copy of which is attached hereto and incorporated
27 herein by reference.

28 BE IT FURTHER RESOLVED by the Board of Supervisors, based on the evidence

1 presented on this matter, both written and oral, including Environmental Assessment No. 35694,
2 that:

- 3 1. The proposed community plan contains land use policies for both the incorporated
4 and unincorporated areas.
- 5 2. The Northside Community Plan includes policies addressing urban design, public
6 facilities, circulation, land use, redevelopment and future annexation to the City
7 of Riverside.
- 8 3. The proposed community plan would enhance and preserve existing design
9 features in the Northside area.
- 10 4. The proposed community plan would ensure compatible development standards
11 in the area between the City of Riverside and the County of Riverside.
- 12 5. The proposed community plan would provide design guidelines for the area.
- 13 6. The initial study for Environmental Assessment No. 35694 (a copy of which is
14 attached) evaluated the potential for adverse environmental impacts and
15 determined that there is no substantial evidence that the proposed amendment will
16 result in a significant effect on the environment, or any adverse impact on wildlife
17 resources. (The findings of this Environmental Assessment are incorporated
18 herein by reference). The Riverside County Board of Supervisors has, therefore,
19 determined that the project will not (individually or cumulatively) have an adverse
20 effect on wildlife resources, as defined in Section 711.2 of the Fish and Game
21 Code.

22 BE IT FURTHER RESOLVED by the Board of Supervisors that the NSCP is consistent
23 with the goals and policies of the Comprehensive General Plan, and specifically meets the
24 following goals:

25 A. Administrative Element:

- 26 1. Maintain a general plan that reflects and implements County policies.
- 27 2. Maintain general plan responsiveness for changing conditions and needs.

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B. Land Use Element:

1. Maintain and improve the quality of life in Riverside County, and protect the public health, safety and welfare.
2. Attain a County growth pattern which is orderly and efficient.
3. Achieve a well-balanced and diversified economy within the County, with a variety of economic and employment opportunities.
4. Develop those areas where necessary public services can be provided and where development is compatible with surrounding land uses.
5. Distribute commercial facilities in a manner that will provide an adequate supply of goods and services to the residents of Riverside County.
6. Retain as open space those lands containing important natural resources, such as scenic beauty, sensitive vegetation, wildlife habitats, and historic or prehistoric sites, or which are subject to environmental hazards, such as seismic hazards, flooding, and hazardous slopes.

C. Regional Element:

1. Ensure that the distribution of future growth is related to adequate regional facilities and environmental management.

D. Housing Element:

1. Preserve and enhance the County's urban and rural communities.
2. Provide sufficient, suitable residential sites and housing supply to meet projected future housing needs.
3. Select housing that is decent, sound, in close proximity to jobs and daily activities, and which varies by location, type, design and price.

E. Public Facilities and Services Element:

1. Develop a well balanced circulation system which will provide for the economical, efficient and safe movement of people and goods within and through Riverside County.
2. Develop a circulation system which is compatible with the environment and

1 serves the needs of current and future land uses.

- 2 3. Utilize existing infrastructure and public services to the maximum extent and
3 provide for the logical, timely, and economically efficient extension of
4 infrastructure and services.

5 F. Environmental Hazards and Resources Element:

- 6 1. Minimize injury to life and damage to property from natural and man-made
7 hazards.
8 2. Maintain a healthy living environment by minimizing pollution of the air, water,
9 and land, and by maintaining acceptable low noise levels.
10 3. Ensure the preservation of open space for scenic and aesthetic beauty, viewsheds,
11 recreation, the conservation of natural and historic resources, the separation and
12 definition of development areas, and the control of hazards.
13 4. Protect and enhance the environment through the conservation of natural
14 resources and the careful management of their development and use.
15 5. Recognize and promote the conservation of unique species of wildlife and
16 vegetation found within a locale as important County resources.

17 G. Community Policies Element:

- 18 1. Promote the establishment of community identity through citizen participation and
19 development design in communities.
20 2. Recognize the unique conditions, needs or values of community areas within the
21 County through the development of community policies for those areas.
22 3. Develop policies in conjunction with the incorporated cities within the County,
23 for those spheres of influence where unique policies are needed.

24 BE IT FURTHER RESOLVED by the Board of Supervisors that the NSCP is also
25 consistent with the goals and policies of the Comprehensive General Plan for the following
26 reasons:

- 27 1. The NSCP further defines the Land Use Determination process contained in the
28 Comprehensive General Plan by applying specific land use categories within the

1 study area. The NSCP designates specific areas for commercial, industrial, and
2 residential development with permitted intensities.

3 2. The NSCP provides for the logical development of the area and for the protection
4 of open space, by determining the location and extent of natural resources and
5 environmental hazards, level of public services, and capacity of public facilities.

6 3. The NSCP provides for economic growth in the area by permitting the
7 development of various intensities of commercial and industrial development.

8 4. The NSCP and the policies contained therein provide for the logical extension of
9 public facilities and services based on the allocation map and forecasted
10 population growth.

11 BE IT FURTHER RESOLVED by the Board of Supervisors that it ADOPTS
12 Environmental Assessment No. 35694, and ADOPTS Comprehensive General Plan Amendment
13 No. 322, as set forth in the NSCP text and as shown on the map entitled "Northside Community
14 Plan, as Adopted by the Board of Supervisors, September 24, 1991," a copy of which is attached
15 hereto and incorporated herein by reference.

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