

NO CONSTRUCTION IMPLEMENTED FROM THIS SET

# REID PARK EXPANSION

GRADING AND DRAINAGE  
701 NORTH ORANGE STREET



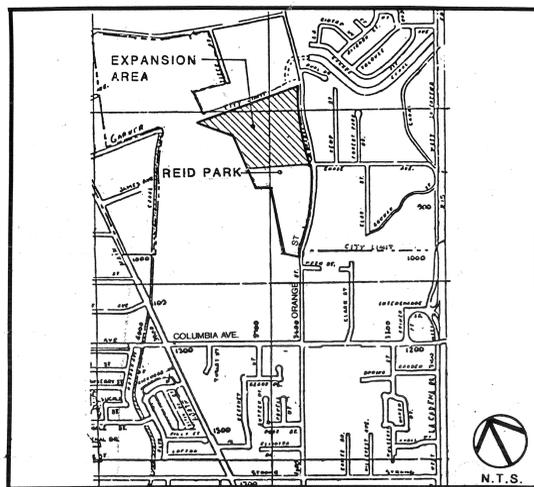
city of riverside  
park & recreation  
department  
(909) 715-3464  
3900 MAIN ST RIVERSIDE, CALIFORNIA 92522

SHT. #	PLAN INDEX
1	T-1 TITLE SHEET
2	R-1 SURVEY CONTROL PLAN (REFERENCE)
3	D-1 DEMOLITION PLAN
4	C-1 GRADING PLAN
5	C-2 GRADING NOTES AND DETAILS
6	L-1 CONSTRUCTION LAYOUT PLAN

VICINITY MAP - REID PARK



LOCATION MAP - REID PARK



CONSULTANTS:

CIVIL ENGINEER  
GABEL, COOK & BECKLUND, INC.  
647 N. MAIN ST., SUITE 1-B  
RIVERSIDE, CA 92501  
(714) 788-8092

LANDSCAPE ARCHITECT  
RHA LANDSCAPE ARCHITECTS- PLANNERS INC.  
3612 MISSION INN AVENUE  
RIVERSIDE, CA. 92501  
(909) 781-1930

*Tony Nielsen* 2/18/96  
PARK AND RECREATION DIRECTOR

*Nancy Beard* 2/20/96  
DEPUTY DIRECTOR

*Robert Johnson* 2/5/96  
PARK PLANNING COORDINATOR

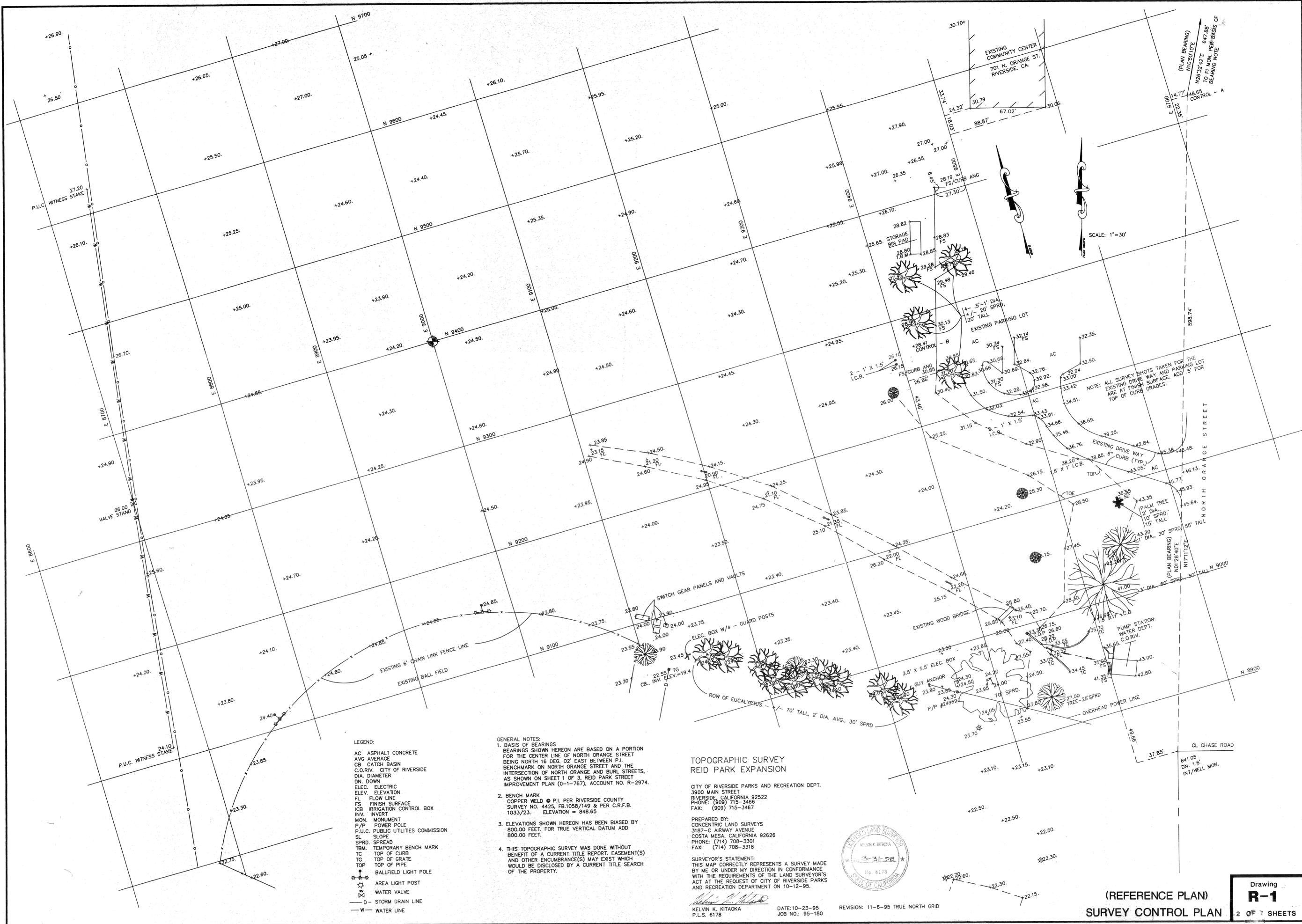
*R. Hultic* 2.5.96  
LANDSCAPE ARCHITECT Lic. # 1512

PLAN # P-0403 Rev.  
SHEET

T-1

1 OF 6 SHEETS

**NO CONSTRUCTION IMPLEMENTED FROM THIS SET**



- LEGEND:
- AC ASPHALT CONCRETE
  - AVG AVERAGE
  - CB CATON BASIN
  - C.O.R.I.V. CITY OF RIVERSIDE
  - DIA. DIAMETER
  - DN. DOWN
  - ELEC. ELECTRIC
  - ELEV. ELEVATION
  - FL FLOW LINE
  - FS FINISH SURFACE
  - IGS IRRIGATION CONTROL BOX
  - INV. INVERT
  - MON. MONUMENT
  - P/P POWER POLE
  - P.U.C. PUBLIC UTILITIES COMMISSION
  - SL SLOPE
  - SPRD. SPREAD
  - TBM. TEMPORARY BENCH MARK
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TOP TOP OF PIPE
  - BALLFIELD LIGHT POLE
  - AREA LIGHT POST
  - WATER VALVE
  - D STORM DRAIN LINE
  - W WATER LINE

- GENERAL NOTES:
1. BASIS OF BEARINGS  
BEARINGS SHOWN HEREON ARE BASED ON A PORTION FOR THE CENTER LINE OF NORTH ORANGE STREET BEING NORTH 16 DEG. 02' EAST BETWEEN P.I. BENCHMARK ON NORTH ORANGE STREET AND THE INTERSECTION OF NORTH ORANGE AND BURL STREETS, AS SHOWN ON SHEET 1 OF 3, REID PARK STREET IMPROVEMENT PLAN (0-1-767), ACCOUNT NO. R-2974.
  2. BENCH MARK  
COPPER WELD @ P.I. PER RIVERSIDE COUNTY SURVEY NO. 4425, FB.1058/149 & PER C.R.F.B. 1033/23. ELEVATION = 848.65
  3. ELEVATIONS SHOWN HEREON HAS BEEN BIASED BY 800.00 FEET. FOR TRUE VERTICAL DATUM ADD 800.00 FEET.
  4. THIS TOPOGRAPHIC SURVEY WAS DONE WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENT(S) AND OTHER ENCUMBRANCE(S) MAY EXIST WHICH WOULD BE DISCLOSED BY A CURRENT TITLE SEARCH OF THE PROPERTY.

**TOPOGRAPHIC SURVEY  
REID PARK EXPANSION**

CITY OF RIVERSIDE PARKS AND RECREATION DEPT.  
3900 MAIN STREET  
RIVERSIDE, CALIFORNIA 92522  
PHONE: (909) 715-3466  
FAX: (909) 715-3467

PREPARED BY:  
CONCENTRIC LAND SURVEYS  
3187-C AIRWAY AVENUE  
COSTA MESA, CALIFORNIA 92626  
PHONE: (714) 708-3301  
FAX: (714) 708-3318

SURVEYOR'S STATEMENT:  
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF CITY OF RIVERSIDE PARKS AND RECREATION DEPARTMENT ON 10-12-95.

KELVIN K. KITACKA  
P.L.S. 6178  
DATE: 10-23-95  
JOB NO.: 95-180



REVISION: 11-6-95 TRUE NORTH GRID

(REFERENCE PLAN)  
SURVEY CONTROL PLAN

Drawing  
**R-1**  
2 OF 7 SHEETS

# NO CONSTRUCTION IMPLEMENTED FROM THIS SET

Existing security light pole assembly with fixture to be relocated. Existing light pole assembly shown is a "mid-run" pole served by incoming and outgoing 1" conduits, each containing #12 and #10 G conductors. Approximate total conduit run is 250 lineal feet (LF) extending from the existing pole to be relocated to existing poles to remain. Pole shall be relocated approximately 10 feet westerly to the future sidewalk area. Center of the relocated pole shall be approximately 11" from the back of the future sidewalk providing 9" clearance from back of sidewalk to face of pole (coordinate with the Park Projects Inspector for approval of new location prior to installation). Extend the existing conduits to the new light pole location and remove and replace both incoming and outgoing conductors with all new conductors, in lengths sufficient to reach from existing pole to relocated pole to existing pole. All connections are to be made within the pole bases, no pull or splice boxes are allowed.

## LEGEND

- D- EX. DRAIN LINE TO REMAIN
- E- EX. ELECTRICAL CONDUIT TO REMAIN AND PROTECT
- E--- EX. ELECT. CONDUIT TO BE REMOVED AND ABANDONED
- I- EX. IRRIGATION MAIN LINE TO REMAIN
- S- EX. SEWER LINE TO REMAIN
- 4" D.B. EX. 4" DIRECT BURIED ELECTRICAL LINE TO REMAIN AND PROTECT
- EX. 16" WATER MAIN LINE TO REMAIN AND PROTECT
- F.L. EX. FLOW LINE
- X-X- EX. BALL FIELD FENCE
- ⊕ EX. IRRIGATION VALVE TO REMAIN AND PROTECT, TYP.
- ⊕ EX. GATE VALVE TO REMAIN AND PROTECT, TYP.
- EX. TREE TO REMAIN, TYP.
- EX. TREE TO BE RELOCATED, TYP. COORDINATE WITH THE PARK PROJECTS INSPECTOR FOR NEW LOCATIONS.
- EX. TREE TO BE REMOVED, TYP.
- C.B. EX. CATCH BASIN TO REMAIN
- EX. LIGHT POLE AND FIXTURES TO REMAIN, TYP.
- EX. LIGHT TO REMAIN, TYP.
- EX. BALL FIELD LIGHT TO REMAIN, TYP.
- P.P. EX. POWER POLE WITH GUY WIRE TO REMAIN
- P.B. NEW ELECTRICAL PULL BOX, TYP.

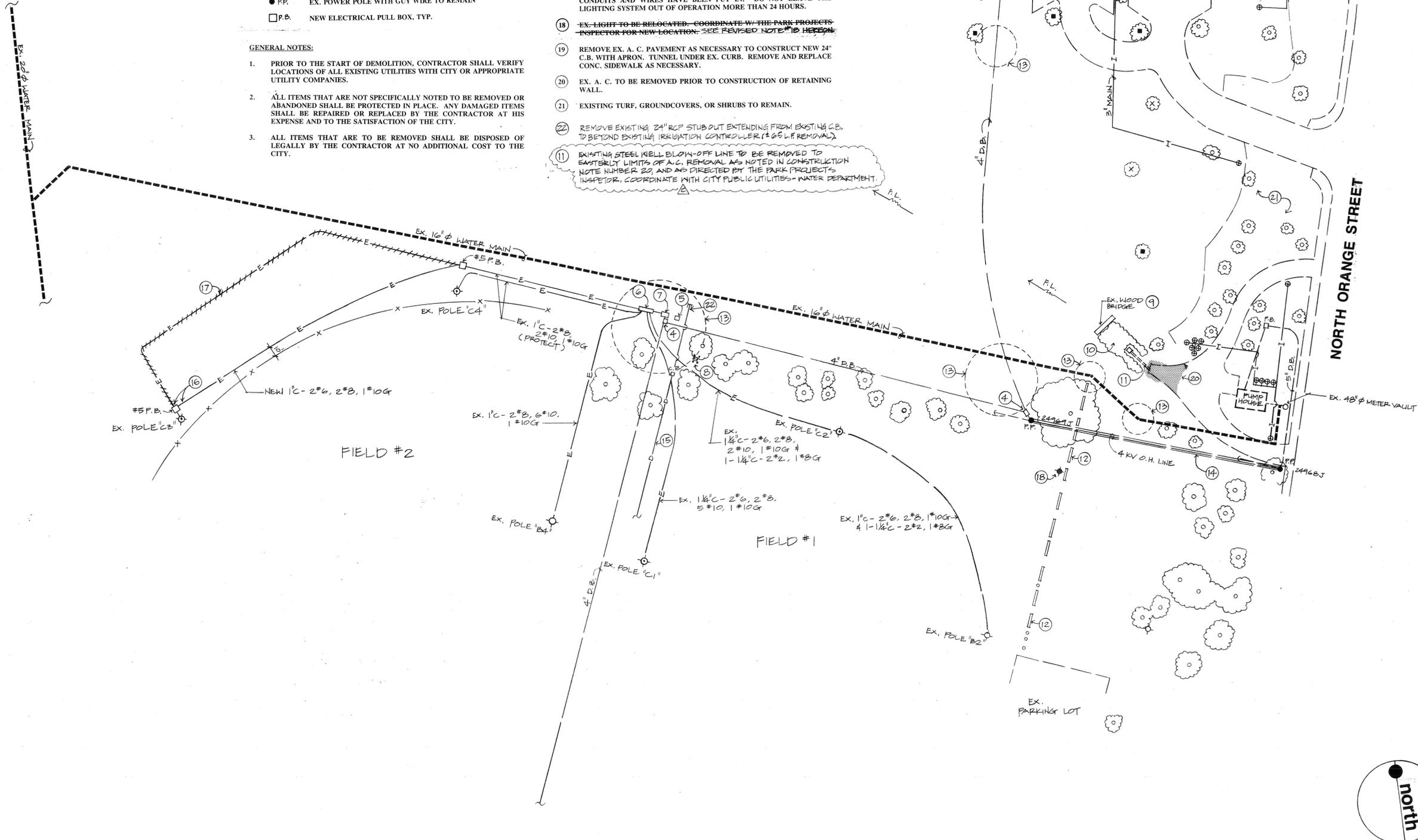
## GENERAL NOTES:

1. PRIOR TO THE START OF DEMOLITION, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITH CITY OR APPROPRIATE UTILITY COMPANIES.
2. ALL ITEMS THAT ARE NOT SPECIFICALLY NOTED TO BE REMOVED OR ABANDONED SHALL BE PROTECTED IN PLACE. ANY DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE CITY.
3. ALL ITEMS THAT ARE TO BE REMOVED SHALL BE DISPOSED OF LEGALLY BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY.

## NOTES:

1. EX. SEWER LIFT STATION TO REMAIN AND PROTECT IN PLACE.
2. EX. BACKWATER VALVE IN BOX TO REMAIN AND PROTECT IN PLACE.
3. EX. MAINTENANCE STORAGE BIN ON CONC. SLAB TO REMAIN.
4. EX. PULL BOX TO REMAIN.
5. EX. IRRIGATION CONTROLLER TO REMAIN AND PROTECT.
6. EX. ELECTRICAL SERVICE PANEL TO REMAIN AND PROTECT.
7. EX. PAD WITH TRANSFORMER TO REMAIN AND PROTECT.
8. EX. ELECTRICAL BOX WITH 4- GUARD POSTS.
9. EX. WOOD BRIDGE TO BE REMOVED.
10. EX. DEBRIS TO BE REMOVED.
11. REMOVE PERFORATED PIPE AND CONNECT TO NEW WELL BYPASS PIPE. SEE NOTE 11 BELOW.
12. EX. HORIZONTAL WOOD BARRIER POLES AND VERTICAL POSTS TO BE REMOVED AND TURNED OVER TO THE CITY.
13. POT HOLE LOCATION -- CONTRACTOR SHALL CAREFULLY POT HOLE THE DESIGNATED LOCATION AND PROTECT ALL THE EX. UTILITIES DURING GRADING OPERATION.
14. EX. OVERHEAD POWER LINES TO REMAIN AND PROTECT.
15. EX. DRAINLINE WITH 24" STUB OUT BEYOND IRRIG. CONTROLLER.
16. INTERCEPT THE EX. CONDUIT, PUT IN NEW PULL BOXES, NEW CONDUITS, CONDUCTORS, AND WIRES FROM POLE C-3 BACK TO THE PANEL.
17. EX. CONDUIT TO BE REMOVED AND ABANDONED ONCE THE NEW CONDUITS AND WIRES HAVE BEEN PUT IN. DO NOT LEAVE THE LIGHTING SYSTEM OUT OF OPERATION MORE THAN 24 HOURS.
18. EX. LIGHT TO BE RELOCATED. COORDINATE WITH THE PARK PROJECTS INSPECTOR FOR NEW LOCATION. SEE REVISED NOTE #18 HEREON.
19. REMOVE EX. A. C. PAVEMENT AS NECESSARY TO CONSTRUCT NEW 24" C.B. WITH APRON. TUNNEL UNDER EX. CURB. REMOVE AND REPLACE CONC. SIDEWALK AS NECESSARY.
20. EX. A. C. TO BE REMOVED PRIOR TO CONSTRUCTION OF RETAINING WALL.
21. EXISTING TURF, GROUNDCOVERS, OR SHRUBS TO REMAIN.
22. REMOVE EXISTING 24" RCP STUB OUT EXTENDING FROM EXISTING C.B. TO BEYOND EXISTING IRRIGATION CONTROLLER (2' OF L.F. REMOVAL).

EXISTING STEEL WELL BLOW-OFF LINE TO BE REMOVED TO EASTERLY LIMITS OF A.C. REMOVAL AS NOTED IN CONSTRUCTION NOTE NUMBER 23 AND AS DIRECTED BY THE PARK PROJECTS INSPECTOR. COORDINATE WITH CITY PUBLIC UTILITIES - WATER DEPARTMENT.

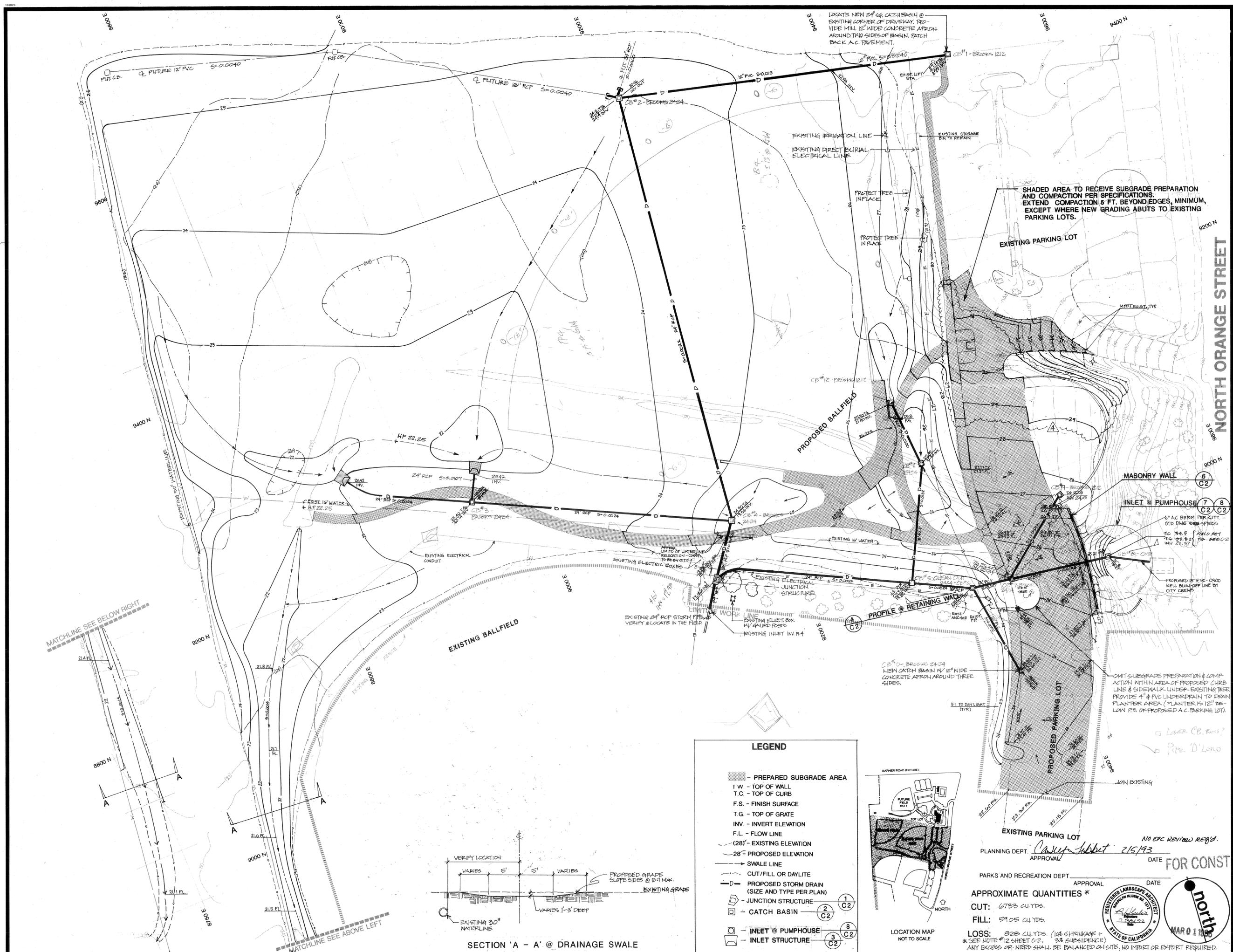


**Randolph Hubrik Associates, Inc.**  
 Landscape Architecture - Planning  
 3017 Smith St. • Riverside, CA 92501 • (714) 781-1930

**REID PARK EXPANSION**  
 City of Riverside Parks & Recreation Dept.  
 3900 Main Street Riverside, CA 92502

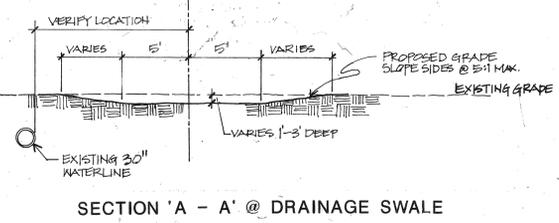
DRAWING	
DEMOLITION PLAN	
CONSULTANT	
DESIGNED	
DRAWN EL	
CHECKED	
DATE 1-4-96	
SCALE 1"=30'-0"	
JOB NO 89185	
SHEET	
D-1	
3 OF 6 SHEETS	





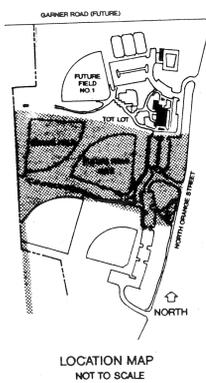
MATCHLINE SEE BELOW RIGHT

MATCHLINE SEE ABOVE LEFT



**LEGEND**

- PREPARED SUBGRADE AREA
- T.W. - TOP OF WALL
- T.C. - TOP OF CURB
- F.S. - FINISH SURFACE
- T.G. - TOP OF GRATE
- INV. - INVERT ELEVATION
- F.L. - FLOW LINE
- (28)' - EXISTING ELEVATION
- 28' - PROPOSED ELEVATION
- SWALE LINE
- CUT/FILL OR DAYLITE
- PROPOSED STORM DRAIN (SIZE AND TYPE PER PLAN)
- JUNCTION STRUCTURE
- CATCH BASIN
- INLET @ PUMPHOUSE
- INLET STRUCTURE



APPROXIMATE QUANTITIES \*

CUT: 6735 CU.YDS.

FILL: 5905 CU.YDS.

LOSS: 828 CU.YDS. (10% SHRINKAGE + 3% SUBSIDENCE) \* SEE NOTE #12 SHEET C-2.

ANY EXCESS OR DEFICIENCY SHALL BE BALANCED ON SITE, NO IMPORT OR EXPORT REQUIRED.

DESIGNED: F.V. LUB

DRAWN: [Signature]

CHECKED: [Signature]

DATE: 7/1/92

SCALE: 1"=30'

JOB NO.: 89165

SHEET: C-1

4 OF 6 SHEETS

PLANNING DEPT. APPROVAL: *Cathy Abbot* 2/5/93

PARKS AND RECREATION DEPT. APPROVAL: [Signature]

DATE: [Blank]

FOR CONST

RECEIVED LANDSCAPE ARCHITECT STATE OF CALIFORNIA

NO EPC REVIEW REQ'D.

**Randolph Hlubik Associates, Inc.**  
Landscape Architecture - Planning

**REID PARK EXPANSION**  
City of Riverside Parks & Recreation Dept.  
3900 Main Street Riverside, Ca. 92502

PROJECT: [Blank]

CLIENT: [Blank]

DRAWING: **GRADING PLAN**

CONSULTANT: [Blank]

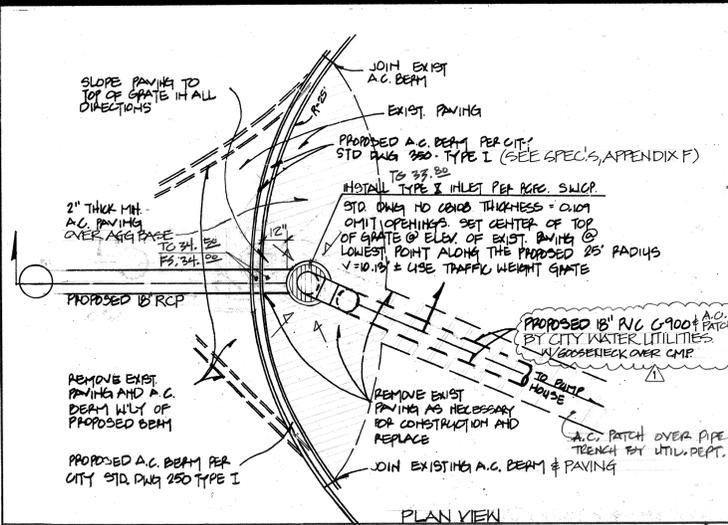
REVISIONS	BY
1. 12' PUBLIC WORKS	PA
2. PER APPENDIX I PHONE ITEM 2	
3. ADDED CB#5	
4. ADDED ONE ITEM 3A	
5. PER APPENDIX I THREE ITEM 4	

QUANTITY CALCULATIONS SHOWN ARE SOLELY FOR THE CONVENIENCE OF THE CITY. BIDDERS SHALL VERIFY ALL GRADING QUANTITIES AS NECESSARY FOR SUBMITTAL OF A BID.

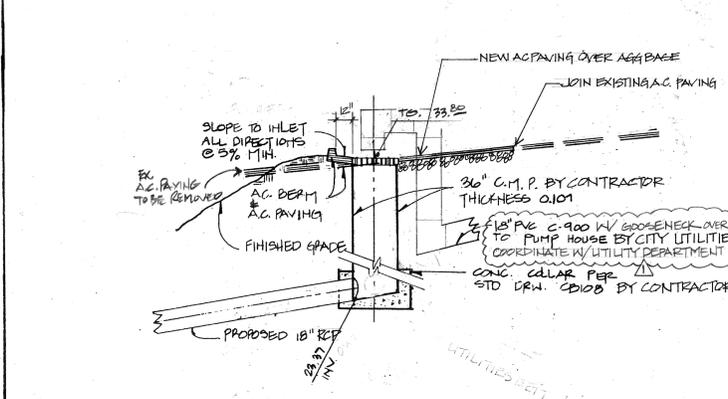
PLAN # P-0403 Rev.

**GRADING NOTES**

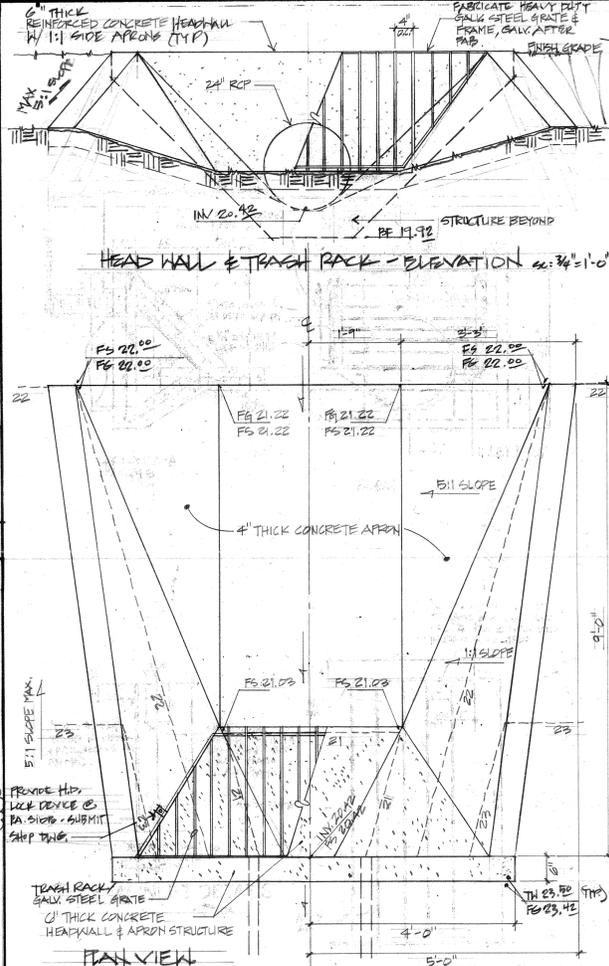
- All grading shall conform to Chapter 70 of the current city adopted edition of the Uniform Building Code.
- All provisions of the preliminary soils report prepared by Geo-Extra dated October 1985 shall be complied with during grading operations. Updated: Dec. 1992 City Business Tax Certif. This plan is for grading purposes only. Issuance of a permit based on this plan does not constitute approval of driveway locations or sizes, parking lot structural sections or layout, building locations, off-site drainage facilities or other items not related directly to the basic grading operation.
- Certification shall be provided from the registered landscape architect stating that the grading has been completed per the approved plan, and a compaction report from the soil engineer on any fill areas that are required prior to building permits being issued.
- Contractor is responsible for control of all erosion, dust and temporary drainage during grading.
- Any walls, fence's, structures, trees and/or appurtenances adjacent to this project are to be protected in place. If grading operations damage or adversely affect said items in any way, the contractor is responsible for the cost of repair or replacement out an acceptable solution to the satisfaction of the affected property owner(s).
- It is the grading contractor's responsibility to ensure that adequate compaction has been attained on the entire grading site, including fill areas outside the building pads and on all fill slopes.
- It is the soil engineer's responsibility to observe and perform compaction tests during the grading surface to receive the fill and the compaction attained in the fill, including fill areas outside the building pads and on all fill slopes.
- It shall be the responsibility of the contractor to clear the parksite in accordance with the provisions of law as it affects each utility including irrigation lines and appurtenances and at no cost to the City.
- Construction shall be in accordance with the City of Riverside Department of Public Works, Standard Drawings, and the Standard Specifications for Public Works Construction, current edition.
- The Landscape Architect signing these plans is responsible for assuring the accuracy and acceptability of the work herein. In the event of discrepancies arising during construction, the Landscape Architect shall be responsible for determining an acceptable solution and revising the plans for approval by the City.
- Quantities shown are for information only and the City of Riverside is not responsible for their accuracy.
- The contractor shall be responsible for preserving or re-establishing and referencing survey monuments destroyed, disturbed or buried as a result of construction shown hereon.
- All flagged elevations shall be staked in the field by the Contractor.
- The contractor shall arrange for a soil compaction test to be made by a soils engineer after the asphalt, site walls, overhead footings, concrete paving and brick dust subgrade have been prepared to rough grade and prior to placing asphalt, brick dust and pouring concrete.
- The contractor shall call in a location request to Underground Service Alert (USA), Phone No. 1-800-422-4133, two working days before digging. No construction permit will be issued by the Public Works Department involving excavation for underground facilities unless the applicant has been provided an inquiry identification number by U.S.A.
- Contractor is to pothole to verify existing water and electrical line elevations and locations prior to construction.
- Location of irrigation laterals to be determined in the field at the direction of the owner. Avoid conflict with proposed and/or existing facilities.
- The road bed of Garner Road from Sta. 14+00 to Sta. 29+50 is intended to be used to balance material. Fill material to be placed as per note #7. Compaction to be certified. A construction permit will be required from the Public Works Dept. prior to any grading within Garner Road right-of-way.
- DELETED
- Refer to demolition plan for elements to be removed or preserved and protected in place.
- Any improvements constructed in the public right-of-way will require a separate construction permit and inspection from the Public Works Department.



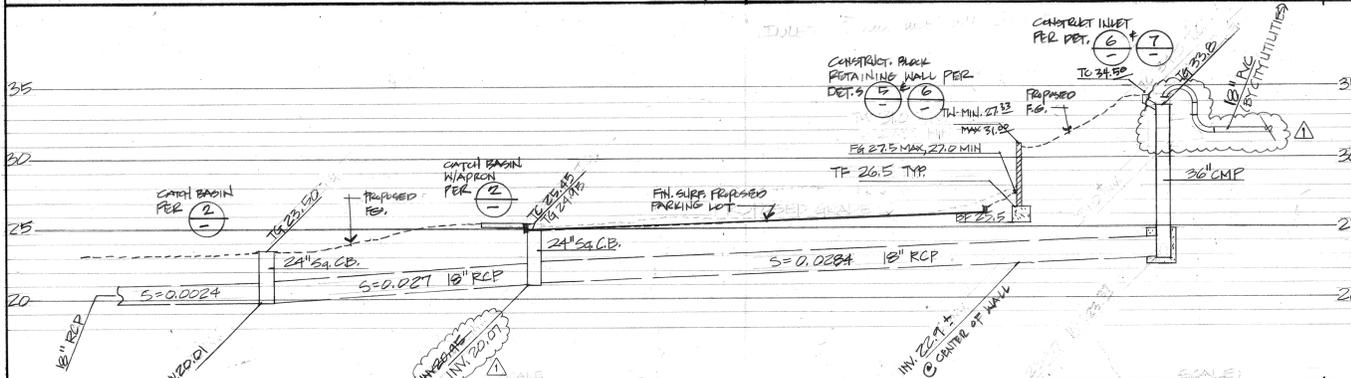
**INLET @ PUMPHOUSE** 3/4" = 1'-0"



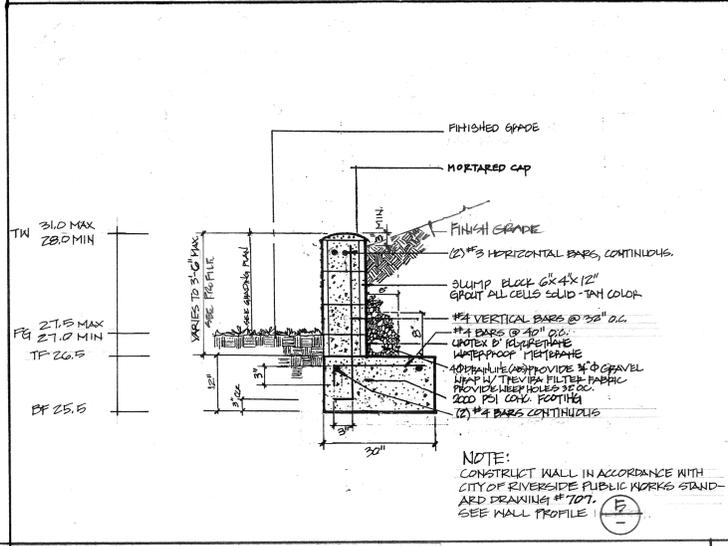
**PROFILE 'A'** 1" = 5' HORIZ. 1" = 10' VERT.



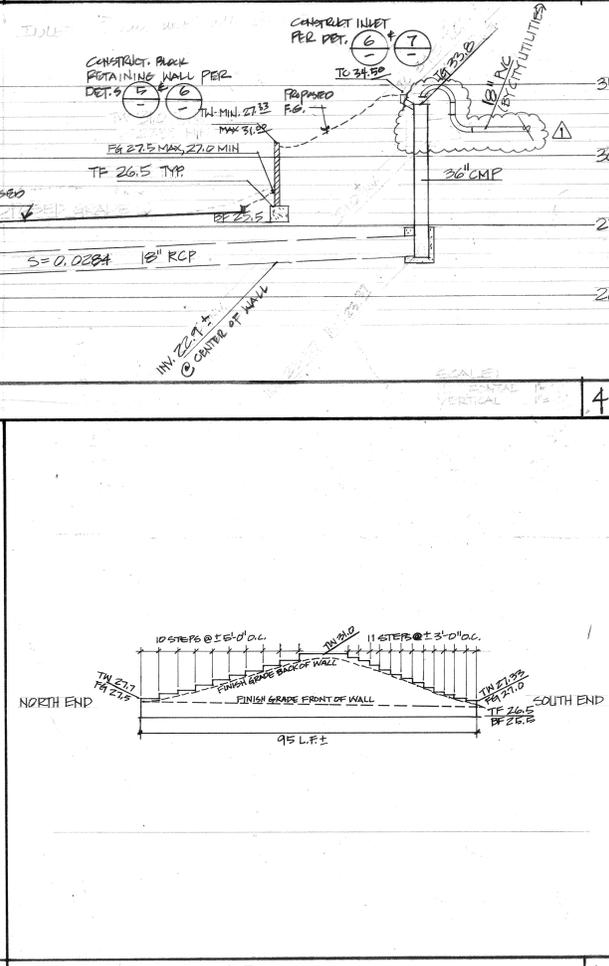
**INLET STRUCTURE w/GRATE** 3/4" = 1'-0"



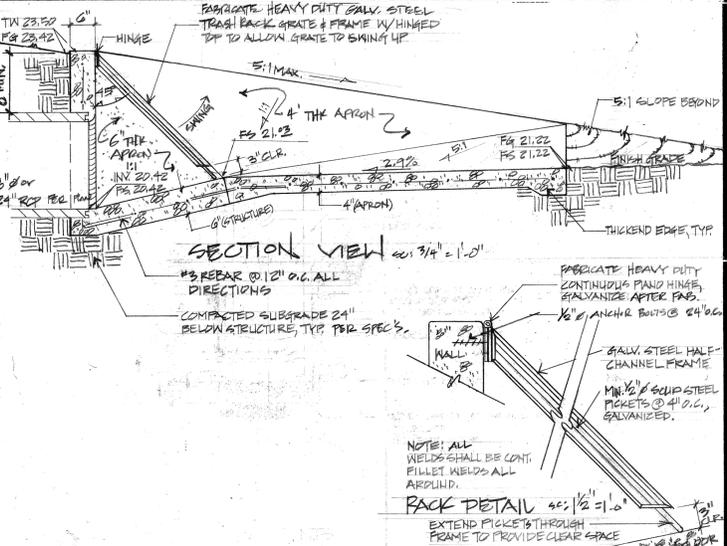
**PIPE PROFILE @ RETAINING WALL** 3/4" = 1'-0"



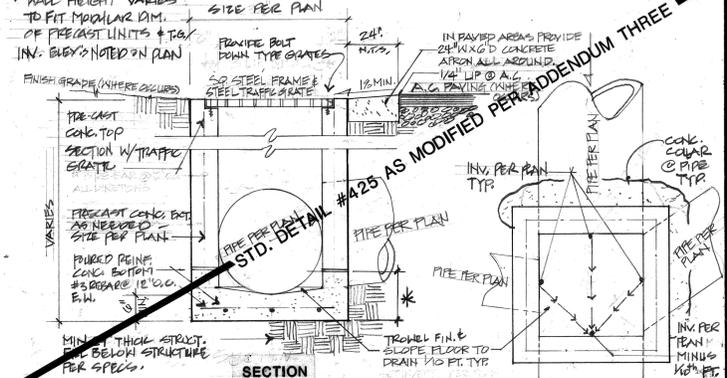
**MASONRY WALL w/FOUNDATION** 3/4" = 1'-0"



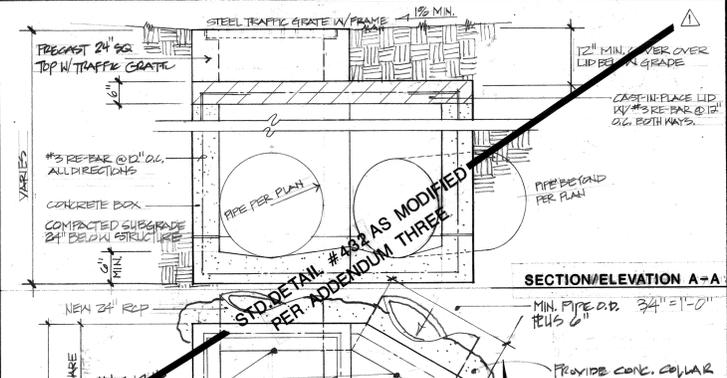
**JUNCTION STRUCTURE** 3/4" = 1'-0"



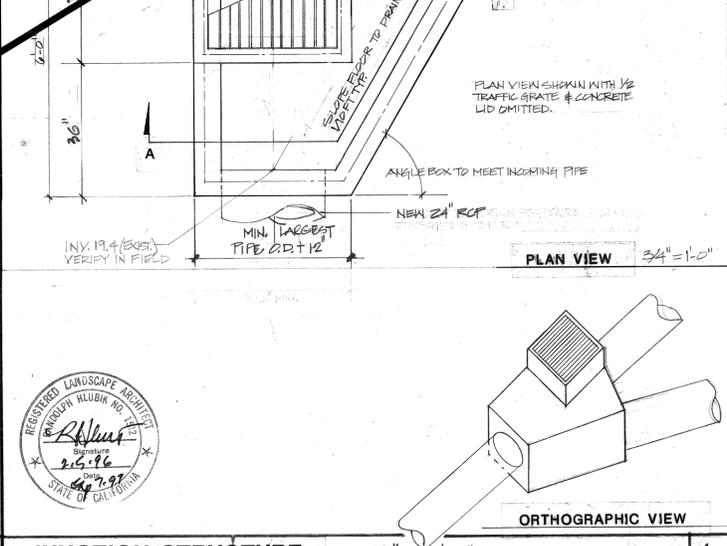
**SECTION VIEW** 3/4" = 1'-0"



**CATCH BASIN** 3/4" = 1'-0"



**SECTION/ELEVATION A-A** 3/4" = 1'-0"



**ORTHOGRAPHIC VIEW** 3/4" = 1'-0"

**GRADING PLAN NOTES** 9

REVISIONS	BY
PER ADDENDUM THREE	

DESIGNED	
DRAWN	
CHECKED	
DATE	12-27-98
SCALE	A5 NOTED
JOB NO.	0403



**CURVE DATA**

CURVE 1	
RAD.	237.5'
ANG.	16° 35' 13"
TAN.	34.91'
LENGTH	69.33'
CURVE 2	
RAD.	274.5'
ANG.	29° 59' 28"
TAN.	73.53'
LENGTH	143.67'

**NOTE:**  
SEE SURVEY CONTROL PLAN, SHEET R-1,  
FOR GRID ORIGIN AND BASIS OF BEARING.

DRAWING  
LAYOUT PLAN

CONSULTANT

REVISIONS	BY
DELETED CPT'S PER APPENDIX B	

DESIGNED  
DRAWN  
CHECKED

SCALE: 1" = 20'

SHEET  
**L-1**  
6 OF 6 SHEETS