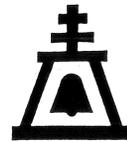


LANDSCAPE ARCHITECTURAL PLANS FOR
**REID PARK
 SENIORS PARKING LOT**
 A CDBG PROJECT
 701 N. ORANGE STREET



**city of riverside
 park & recreation
 department**

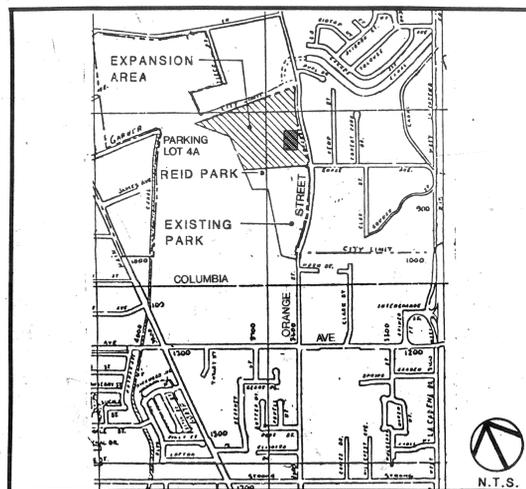
(714) 787-7223
 3900 MAIN ST RIVERSIDE, CALIFORNIA 92522

SHT. #	PLAN INDEX
1	T S TITLE SHEET
2	L-1 DEMOLITION PLAN, GRADING & DRAINAGE
3	L-2 CONSTRUCTION LAYOUT, IRRIGATION
4	L-3 PLANTING, DETAIL SHEET
5	L-4 DETAIL SHEET
6	L-5 PROJECT SCHEDULE
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	

VICINITY MAP - REID PARK



LOCATION MAP - REID PARK



PREPARED BY:

RANDOLPH HLUBIK ASSOCIATES, INC.

3612 SEVENTH STREET

RIVERSIDE, CA. 92501

APPROVALS

[Signature] 10-23-90
 PARK AND RECREATION DIRECTOR

[Signature] 10-23-90
 PARK SUPERINTENDENT

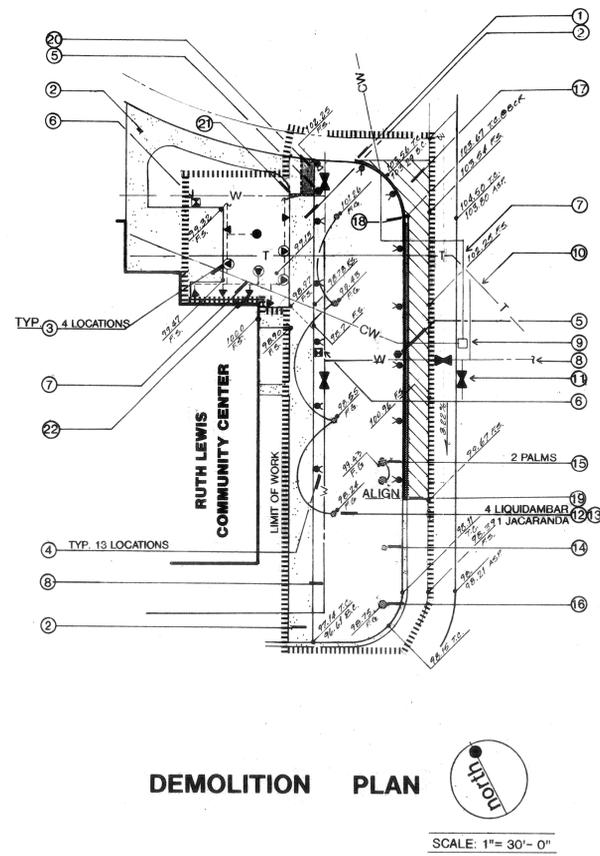
[Signature] 10-23-90
 RECREATION SUPERINTENDENT

[Signature] 10-25-90
 PARK PLANNING COORDINATOR

[Signature]
 LANDSCAPE ARCHITECT

DATE: MAY 30, 1990



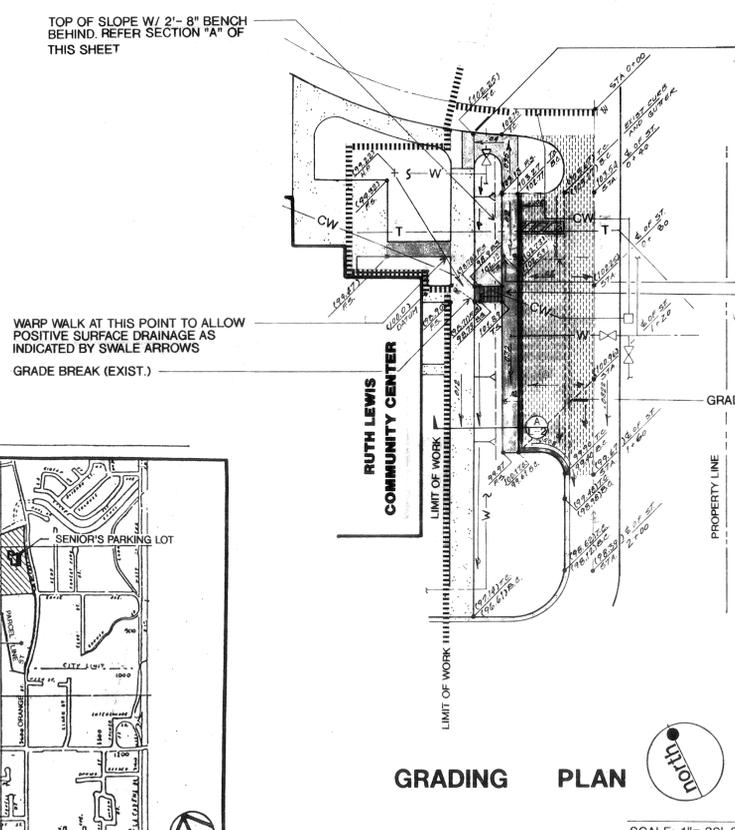
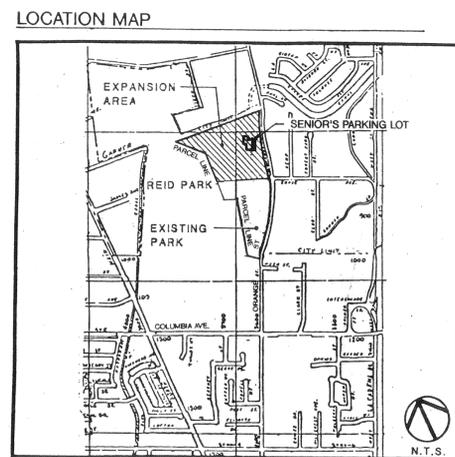


- DEMOLITION LEGEND**
- REMOVE CURB BEGINNING AT THIS POINT CONTINUING TO BCR AS INDICATED BY NOTE 18.
 - EXISTING CONC. WALK. PROTECT IN PLACE. (TYP.)
 - EXISTING IRRIG. SPRAY HEADS. REMOVE AND SALVAGE PER SPECIFICATIONS.
 - EXISTING IRRIG. ROTOR HEADS. REMOVE AND SALVAGE PER SPECIFICATIONS.
 - EXISTING QUICK COUPLING VALVE IN VALVE BOX. (TYP.) TO BE REMOVED. SEE IRRIGATION PLAN.
 - EXISTING CONC. VALVE BOX. (TYP.) TO REMAIN. PROTECT IN PLACE.
 - EXISTING 2" COPPER SERVICE DOMESTIC WATER LINE. CONTRACTOR TO POT HOLE AND VERIFY LOCATION.*
 - EXISTING 3" IRRIG. SUPPLY LINE. CONTRACTOR TO POT HOLE AND VERIFY LOCATION.*
 - EXISTING 3" SERVICE AND METER IN YARD BOX TO REMAIN. PROTECT IN PLACE.
 - EXISTING TELEPHONE LINE. CONTRACTOR TO POT HOLE AND VERIFY LOCATION. TO REMAIN. PROTECT IN PLACE.
 - EXISTING LINE SIZED GATE VALVE. PROTECT IN PLACE. (TYP. 4 LOCATIONS)
 - EXISTING LIQUIDAMBAR SPP. REMOVE AND RE-LOCATE PER PLANTING PLAN. (4 EA)
 - EXISTING JACARANDA SPP. RE-LOCATE PER PLANTING PLAN. (1 EA)
 - EXISTING SYCAMORE SPP. PRESERVE AND PROTECT IN PLACE.
 - EXISTING PALMS TO BE REMOVED AND RE-LOCATED PER PLANTING PLAN. (2 EA)
 - EXISTING PALM SPP. PRESERVE AND PROTECT IN PLACE.
 - REMOVE AC PAVEMENT AS NECESSARY.
 - REMOVE CURB AND GUTTER BEGINNING AT THIS POINT CONTINUING TO THE POINT INDICATED BY NOTE 19 (A TOTAL OF 120 L.F. STA. 0+40 THRU STA 1+60 PER GRADING PLAN)
 - DENOTES END OF CURB REMOVAL & PAVEMENT WORK (STA. 1+60)
 - SAW-CUT AND REMOVE CONCRETE WALK AS INDICATED.
 - SAW-CUT FOR CRACK CONTROL AS INDICATED BY DASHED LINE
 - EXISTING SPRAY HEADS PROTECT IN PLACE

* SEE IRRIGATION PLAN FOR FURTHER WORK

GRADING NOTES:

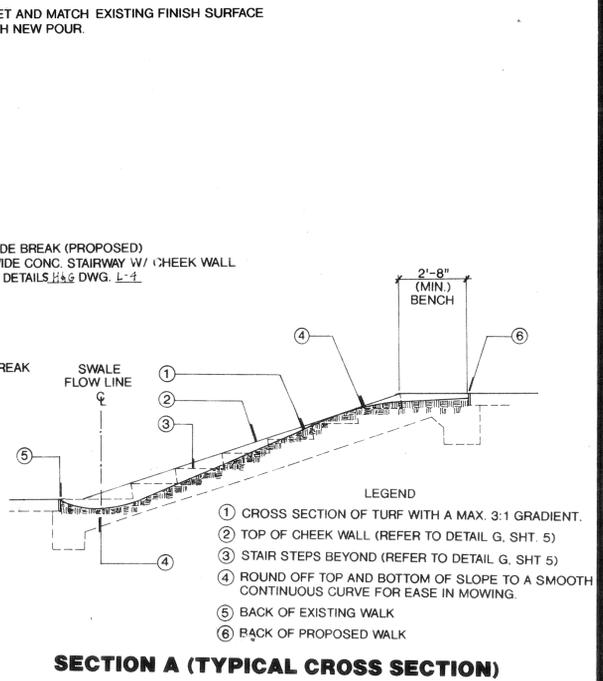
- All grading shall conform to Chapter 70 of the current city adopted edition of the Uniform Building Code.
- All provisions of the preliminary soils report prepared by Geo-Exta dated October 17, 1985 shall be complied with during grading operations.
- This plan is for grading purposes only. Issuance of a permit based on this plan does not constitute approval of driveway locations or sizes, parking lot structural sections or layout, building locations, off-site drainage facilities or other items not related directly to the basic grading operation.
- Certification shall be provided from the registered landscape architect stating that the grading has been completed per the approved plan, and a compaction report from the soil engineer on any fill areas that are required prior to building permits being issued.
- Contractor is responsible for control of all erosion, dust and temporary drainage during grading.
- Any walls, fence's, structures, trees and/or appurtenances adjacent to this project are to be protected in place. If grading operations damage or adversely affect said items in any way, the contractor and/or developer is responsible for working out an acceptable solution to the satisfaction of the affected property owner(s).
- It is the grading contractor's responsibility to ensure that adequate compaction has been attained on the entire grading site, including fill areas outside the building pads and on all fill slopes.
- It is the soil engineer's responsibility to observe and perform compaction tests during the grading to evaluate the preparation of the natural ground surface to receive the fill and the compaction attained in the fill, including fill areas outside the building pads and on all fill slopes.
- It shall be the responsibility of the contractor to clear the proposed parking area in accordance with the provisions of law as it affects each utility including irrigation lines and appurtenances and at no cost to the City.
- Construction shall be in accordance with the City of Riverside Department of Public Works, Standard Drawings, and the Standard Specifications for Public Works Construction, current edition.
- The Landscape Architect signing these plans is responsible for assuring the accuracy and acceptability of the work hereon. In the event of discrepancies arising during construction, the Landscape Architect shall be responsible for determining an acceptable solution and revising the plans for approval by the City. (This note required on all plans.)
- Quantities shown are for information only and the City of Riverside is not responsible for their accuracy.
- The contractor shall be responsible for preserving or re-establishing and referencing survey monuments destroyed, disturbed or buried as a result of construction shown hereon.
- All flagged elevations shall be staked in the field by the Contractor.



GRADING NOTES:

- A 2% MIN. GRADE SHALL BE ESTABLISHED FOR ALL LANDSCAPE AREAS, EXCEPT WHERE OTHERWISE NOTED. A 1% MIN. GRADE SHALL BE PROVIDED FOR ALL NEW HARDSCAPE AREAS UNLESS OTHERWISE NOTED ON THESE PLANS.
- SWALE LINES SHALL HAVE A 1% MIN. GRADIENT. SWALES SHALL HAVE A GENTLE UNIFORM CROSS PITCH WITHOUT ANY UNEVEN OR ABRUPT TRANSITIONS.
- PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL POT HOLE AS NECESSARY TO LOCATE ALL UNDERGROUND UTILITIES. CARE SHALL BE TAKEN TO AVOID DAMAGE OF OR TO ANY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGED UTILITIES AT NO COST TO CITY.
- GRADING SHALL CONFORM TO ALL APPLICABLE LOCAL CODES, STANDARDS, AND/OR REQUIREMENTS.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY THE PARK PROJECTS INSPECTOR OF ANY DISCREPANCIES PRIOR TO THE START OF GRADING.
- FINISH GRADE SHALL BE 1" BELOW ADJACENT FINISH SURFACES IN TURF AREAS AND 2" BELOW ADJACENT SURFACES IN GROUNDCOVER AREAS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL RAISE OR LOWER VALVE BOXES AND HEADS AS NEEDED TO ADJUST TO NEW GRADES.

- The contractor shall arrange for a soil compaction test to be made by a soils engineer after the concrete paving and asphalt subgrade have been prepared to rough grade and prior to laying asphalt and pouring concrete.
- The contractor shall call in a location request to Underground Service Alert (USA), Phone No. 1-800-422-4133, two working days before digging. No construction permit will be issued by the Public Works Department involving excavation for underground facilities unless the applicant has been provided an inquiry identification number by U.S.A.
- Contractor is to pothole to verify existing water and electrical line elevations and locations prior to construction.
- Location of irrigation laterals to be determined in the field at the direction of the owner. Avoid conflict with proposed and/or existing facilities.
- Fill soils, as required, shall be obtained from local borrow at the park site as directed by Parks Department.
- Refer to demolition plan for elements to be removed or preserved and protected in place.
- Benchmark for vertical control is in north Orange Street, approximately 20' south of Garner. Copper weld @ P.I. per Riverside County survey No. 4425 F.B. 1058/149 and per C.R.F.B. 1033/23 ELEV. = 848.65.
- Estimated Quantities: 6742 cubic yards cut, 7048 cubic yards fill. These quantities do not include any losses due to shrinkage, subsidence, overexcavation, or any special conditions or requirements that may be specified in the preliminary soils report. These quantities are for permit purposes only. All contractors bidding on this project should make their own determination of earthwork quantities prior to submitting a bid.



SECTION A (TYPICAL CROSS SECTION)

ABBREV. LEGEND

- F.S. FINISH SURFACE
- T.C. TOP OF CURB
- B.C. BOTTOM OF CURB
- C.W. COLD WATER
- W. WATER
- E. ELECTRICAL
- T.S. TOP OF STAIR
- B.S. BOTTOM OF STAIR
- T. TELEPHONE
- STA. STATION
- H.P. HIGH POINT
- ST. STREET
- CL. CENTER LINE
- () EXISTING GRADES
- PROPOSED GRADES

○ SOURCE 1 PARKS AND REC. DEPT. REID PARK IRRIG PLAN PROTOTYPE OF COMM. REC. CENT. JOB # P-106 JAN. 1, 1981

○ SOURCE 2 KIDACK WAINSCOTT & ASSOC. GRADING PLAN REID PARK PROTOTYPE COMM. REC. CENT. JOB # 78202 NOV. 30, 1977

BID SET



Randolph Hlubik Associates, Inc.
Landscape Architecture - Planning

SENIORS PARKING LOT
CITY OF RIVERSIDE PARKS & RECREATION DEPARTMENT
3900 Main Street, Riverside, Ca. 92502 (714) 787 - 7301

PROJECT: SENIORS PARKING LOT
CLIENT: CITY OF RIVERSIDE

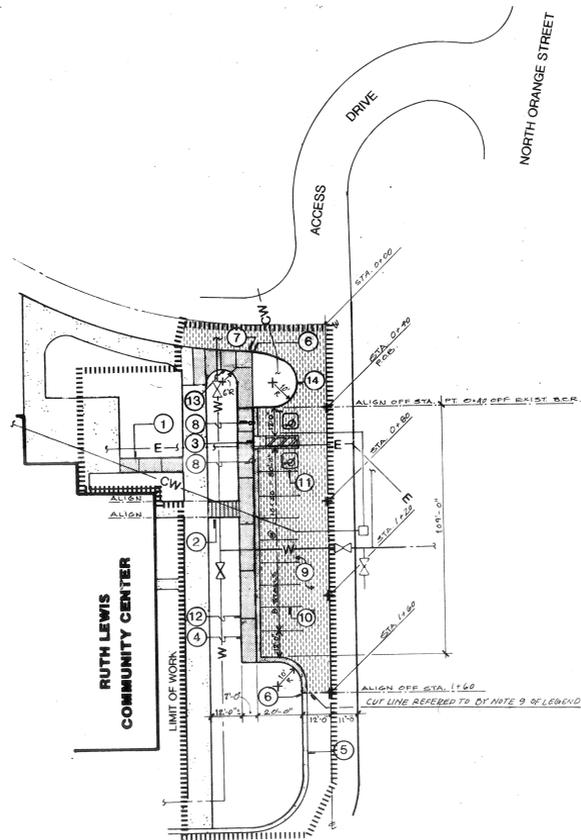
DRAWING: L-1

CONSULTANT:

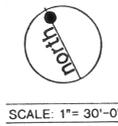
REVISIONS	BY

DESIGNED: S.M.M.
DRAWN: D.B.
CHECKED: M.M.
DATE: MAY 30, 1990
SCALE: 1"= 30'- 0"
JOB NO: 89165-01

SHEET 2 OF SIX SHEETS



CONSTRUCTION PLAN



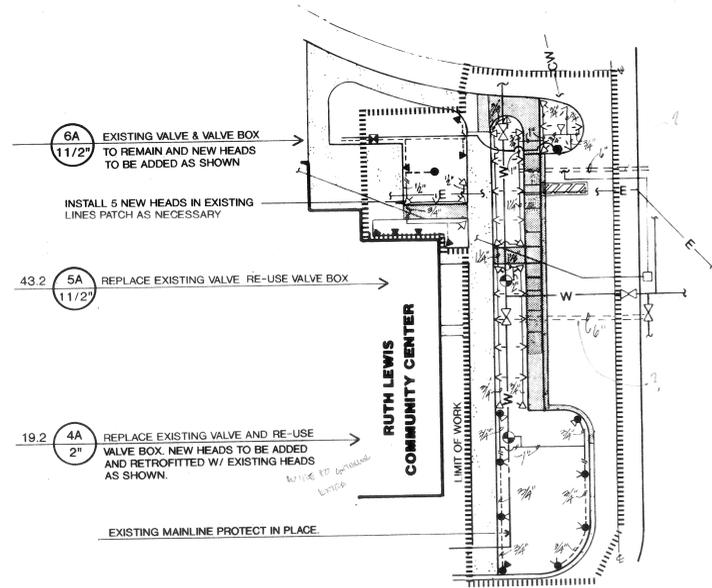
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CONSTRUCTION LEGEND

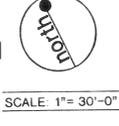
- 1 CONSTRUCT 6" WIDE CONC. WALK PER DETAIL C, DWG. 5.
- 2 CONSTRUCT A 5'-4" WIDE CONC. STAIRWAY WITH A 3" HIGH CONTINUOUS HANDRAIL (BOTH SIDES OF STEPS) AND AN 8" WIDE CHEEK WALL (BOTH SIDES OF STEPS) PER DETAIL H, DWG. 5.
- 3 CONSTRUCT A 4" WIDE HANDICAP CURB RAMP PER DETAIL F, DWG. 5.
- 4 CONSTRUCT A 6'-6" WIDE CONC. WALK AND AN ADJACENT 6" WIDE CURB WITH A 2" WIDE GUTTER PER DETAIL B, DWG. 5.
- 5 EXISTING CURB AND GUTTER. (MEET AND MATCH ELEV. OF EXIST. CURB)
- 6 TANGENT POINT OF PROPOSED AND EXISTING CURBS.
- 7 EXIST. CURB.
- 8 HANDICAP SIGNAGE PER DETAIL J&K, DWG. 5, TYP.
- 9 INSTALL ASPHALTIC CONCRETE P.V.M.T. PER DETAIL E, DWG. 5. (DASHED LINE REPRESENTS CUT LINE OF EXIST. GUTTER EDGE AND EXIST. A.C. P.V.M.T.) STRIPING PER PLAN REFER TO SPECS.
- 10 HANDICAP PARKING STALLS WITH CENTER LOADING ZONE.
- 11 1/2" THICK EXPANSION JOINT (TYP.) PER DETAIL Q, DWG. 5 @ 20' O.C.
- 12 CONSTRUCT A CONC. WALK WITH A 6" RADIUS AND THE EXISTING CURB TO MEET AND MATCH EXISTING WALK (REFER TO DEMO. PLAN) AND PROPOSED 6'-6" WALK PER DETAIL B, DWG. 5.
- 14 CONSTRUCT NEW 6" CURB

CONSTRUCTION NOTES

1. GENERAL - ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY AND COUNTY CODES, THESE PLANS, AND SPECIFICATIONS.
 - A. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL NOTIFY THE CITY OF ANY DISCREPANCIES IN THESE DOCUMENTS.
 - B. THE CONTRACTOR SHALL CARRY ALL WORKER'S COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE INSURANCE, AS REQUIRED BY THE CITY (SEE SPECS).
 - C. THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY FOR ALL PERMITS NECESSARY TO CARRY OUT THE SCOPE OF WORK.
 - D. THE PARK PROJECTS INSPECTOR SHALL OBSERVE THE CONSTRUCTION WORK OUTLINED IN THESE DOCUMENTS. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL CONTACT THE CITY 24 HOURS IN ADVANCE AND COORDINATE ALL FIELD OBSERVATIONS.
 - E. THE CITY SHALL DECIDE ALL QUESTIONS RELATING TO INTERPRETATIONS OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.
 - F. THE CONTRACTOR SHALL AT ALL TIMES PROTECT HIS WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT HIS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE CITY.
 - G. EXTREME CARE SHALL BE EXERCISED IN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR ANY DAMAGE.
 - H. THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO HIS WORK.
 - I. ALL RUBBLE TRASH OR DISPOSAL ITEMS RESULTING FROM DEMOLITION OF CONSTRUCTION BE DISPOSED OF IN A LEGAL AND LAWFUL MANNER TO AN APPROVED DISPOSAL SITE.



IRRIGATION PLAN



SCALE: 1" = 30'-0"

IRRIGATION NOTES

1. GENERAL - ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND COUNTY CODES, AND THESE PLANS.
 - A. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT.
 - B. THE CONTRACTOR SHALL CARRY ALL WORKER'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE, AS REQUIRED BY THE CITY.
 - C. THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY FOR SAME.
 - D. PRIOR TO STARTING WORK, CONTRACTOR SHALL COORDINATE MAINLINE AND IRRIGATION COVERAGE TESTING WITH PARK PROJECTS INSPECTOR.
 - E. THE QUALITY OF WORKMANSHIP AND MATERIALS SHALL BE OF THE HIGHEST STANDARDS GENERALLY ACCEPTED BY THE INDUSTRY.
 - F. THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO HIS WORK.
2. SCOPE OF WORK - THE CONTRACTOR SHALL FURNISH ALL MATERIAL LABOR, TRANSPORTATION, EQUIPMENT AND PROPERTY AND SHALL PERFORM ALL OPERATIONS REQUIRED FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM AS INDICATED ON, OR REASONABLY IMPLIED, BY THE DRAWINGS AND/OR NOTES.
 - A. INCLUDED AS A PART OF THE IRRIGATION WORK, BUT NOT LIMITED BY IT, ARE THE FOLLOWING ITEMS: THE FURNISHING, INSTALLING AND TESTING OF LATERAL LINE, RISERS AND FITTINGS, SPRINKLER HEADS, CONTROL WIRES (TO VALVES), ELECTRICAL CONTROL VALVES AND THE EXCAVATION, BACKFILL AND ALL OTHER WORK IN ACCORDANCE WITH THESE PLANS, DETAILS AND NOTES.
 - B. ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIALS AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED TRENCHES BELOW GRADE FOR A PERIOD OF ONE (1) YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
3. THE PARK PROJECTS INSPECTOR SHALL DECIDE ALL QUESTIONS RELATING TO INTERPRETATION OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.
4. PIPING SHOWN ON THE PLANS IS ESSENTIALLY DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING TO AVOID CONFLICT WITH STATIONARY ELEMENTS AND IN SUCH A MANNER AS TO CONFORM WITH THE VARIOUS DETAILS.

IRRIGATION LEGEND				
SYMBOL	MFG.	MODEL	DESCRIPTION	DETAIL
▼▼▼ (Exist.)	Toro	570 Series	Turf spray head	
▼▼▼ (Exist.)	Toro	Super 600 Series	Turf rotor head	
▼▼▼ (Exist.)	Rainbird	EFA Series	Remote control Valve	
---	(Exist.)	Approved	Non-pressure P.V.C. lateral line	
---	(Exist.)	Approved	Pressurized P.V.C. main line	
---	(Exist.)	Rainbird	RC 2330 Series	Automatic controller located in mechanical room west side of bldg.
▼▼▼ (Proposed)	Match	Existing	Turf spray head	M
▼▼▼ (Proposed)	Match	Existing	Turf rotor	L
▼▼▼ (Proposed)	Match	Existing	Remote control valve	K
---	(Proposed)	Match	PVC lateral line	N.O.
●	(Salvaged)	Existing	O.C.V.	
====	(Proposed)		6" SCH. 40 PVC Sleeve	

GENERAL NOTE: REFER TO DEMOLITION PLAN SHT. 3 FOR EXISTING IRRIGATION LAYOUT.



BID SET

- SOURCE 1 PARKS AND REC. DEPT. REID PARK IRRIG. PLAN PROTOTYPE OF COMM. REC. CENT. JOB # P-1006 JAN. 1, 1981
- SOURCE 2 KIRKACK WAINSCOTT & ASSOC. GRADING PLAN REID PARK PROTOTYPE COMM. REC. CENT. JOB # 78202 NOV. 30, 1977
- SOURCE 3 PURKISS - ROSE & ASSOC. CONSTRUCTION PLANS FOR REID PARK EXPANSION PLAN # P-0403 APR. 28, 1969

PROJECT: CLIENT:

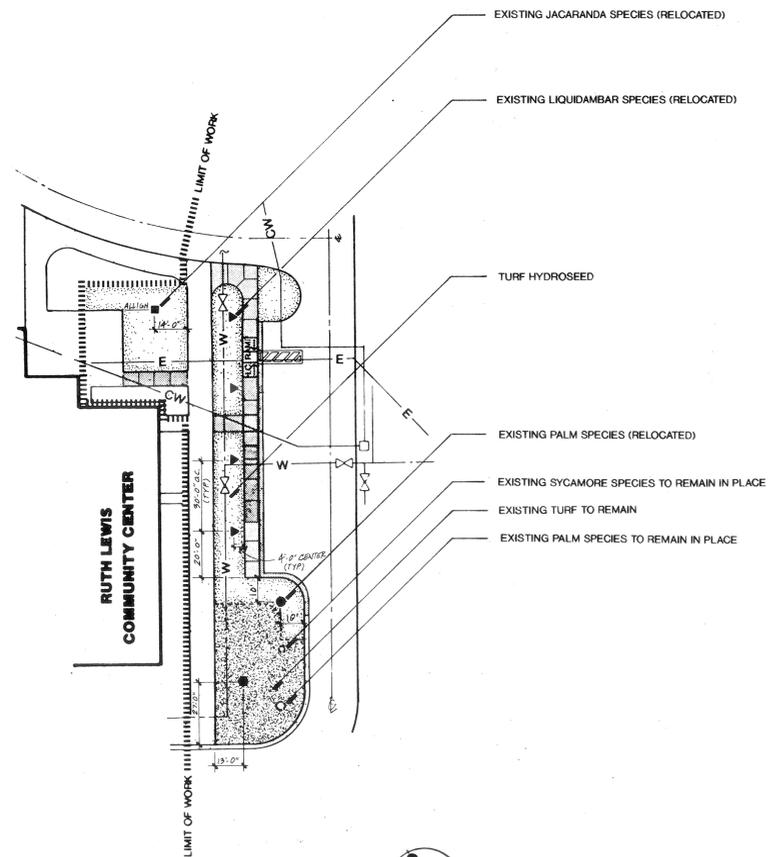
DRAWING: **L-2**

CONSULTANT:

REVISIONS	BY

DESIGNED: S.M.M.
DRAWN: P.B.
CHECKED: M.M.
DATE: MAY 30, 1990
SCALE: 1" = 30'-0"
JOB NO: 89165.01

SHEET **3** OF SIX SHEETS



PLANTING PLAN



SCALE: 1"= 30'-0"

PLANTING LEGEND

SYM.	QTY.	DESCRIPTION	CAL.	DETAIL
▶	4	EXISTING LIQUIDAMBAR SPECIES, RELOCATE PER PLAN	4-5" DIA.	P & R
■	1	EXISTING JACARANDA SPECIES, RELOCATE PER PLAN	4-5" DIA.	P & Q
●	2	EXISTING PALM SPECIES, RELOCATE PER PLAN	3' DIA.	S
○	1	EXISTING PALM SPECIES, TO REMAIN IN PLACE (PRESERVE & PROTECT)	3' DIA.	----
○	1	EXISTING SYCAMORE SPECIES, TO REMAIN IN PLACE (PRESERVE & PROTECT)	4-5" DIA.	----
A.P.P.		EXISTING TURF TO REMAIN		
3340 S.F.		TURF - HYDROSEED (REFER TO SPECS. SECTION 02480 - 2.03)		

PLANTING NOTES

- GENERAL - ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY AND COUNTY CODES, AND THESE PLANS.
 - THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT.
 - THE CONTRACTOR SHALL CARRY ALL WORKER'S COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY THE CITY.
 - THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY FOR SAME.
 - ALL IRRIGATION WORK SHALL HAVE BEEN RECOMMENDED FOR APPROVAL BY THE PARK PROJECTS INSPECTOR PRIOR TO BEGINNING ANY PLANTING WORK.
 - THE PARK PROJECTS INSPECTOR AND THE LANDSCAPE ARCHITECT WILL REVIEW THE PLANTING WORK. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL CONTACT THE PARK PROJECTS INSPECTOR AND COORDINATE ALL INSPECTIONS.
 - THE QUALITY OF WORKMANSHIP AND MATERIALS SHALL BE OF THE HIGHEST STANDARDS. COOPERATION AND FLEXIBILITY IS EXPECTED OF THE CONTRACTOR TOWARD WORKING WITH THE CITY PARK PROJECTS INSPECTOR IN PRODUCING THE BEST POSSIBLE PRODUCT.
 - UPON COMPLETION OF EACH PHASE OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE SITE OF ALL ACCUMULATED RUBBISH, DEBRIS, AND OTHER EXTRANEOUS MATERIAL.
- SCOPE OF WORK - FURNISH ALL MATERIAL, LABOR, TRANSPORTATION, EQUIPMENT AND PROPERTY TO COMPLETE THE LANDSCAPING OF THE PLANTING AREAS SHOWN ON THE DRAWINGS, OR REASONABLY IMPLIED TO COMPLETE THE CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS OVER 2' DIAMETER, DEBRIS AND OTHER EXTRANEOUS MATERIAL FROM THE JOB SITE IN A LEGAL MANNER PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT.
- THE PARK PROJECTS INSPECTOR RESERVES THE RIGHT TO REPOSITION PLANTS WITHIN PROJECT SITE PRIOR TO INSTALLATION. CONTACT LANDSCAPE ARCHITECT TO INSPECT ALL TREES GREATER THAN 24" BOX AT NURSERIES PRIOR TO DELIVERY TO SITE; PROVIDE 72 HOURS NOTICE (UNLESS OTHERWISE NOTED) REFER TO THIS SHEET FOR PLANT LEGEND.
- ALL TREES TO MAINTAIN A DISTANCE OF:
 - 2' FROM SIDEWALK, CURBS, MOW CURBS, REDWOOD HEADERS, SHOVEL CUT EDGES, AND LIMIT OF WORK.
 - 10' FROM DRAINAGE STRUCTURES
 - 5' FROM ROAD EDGE
 - 10' FROM FIRE HYDRANTS
 - 15' FROM DRIVE APPROACHES

- SOURCE 1 PARKS AND REC. DEPT. RED PARK (RRIG) PLAN PROTOTYPE OF COMM. REC. CENT. JOB # P-1006 JAN. 1, 1981
- SOURCE 2 KICACK WAINSCOTT & ASSOC. GRADING PLAN RED PARK PROTOTYPE COMM. REC. CENT. JOB # 78202 NOV. 30, 1977
- SOURCE 3 PURKISS - ROSE & ASSOC. CONSTRUCTION PLANS FOR RED PARK EXPANSION PLAN # P-0403 APR. 28, 1988

BID SET



PROJECT: **SENIORS PARKING LOT**
CLIENT: **CITY OF RIVERSIDE PARKS & RECREATION DEPARTMENT**
3900 Main Street, Riverside, Ca. 92502 (714) 787 - 7301

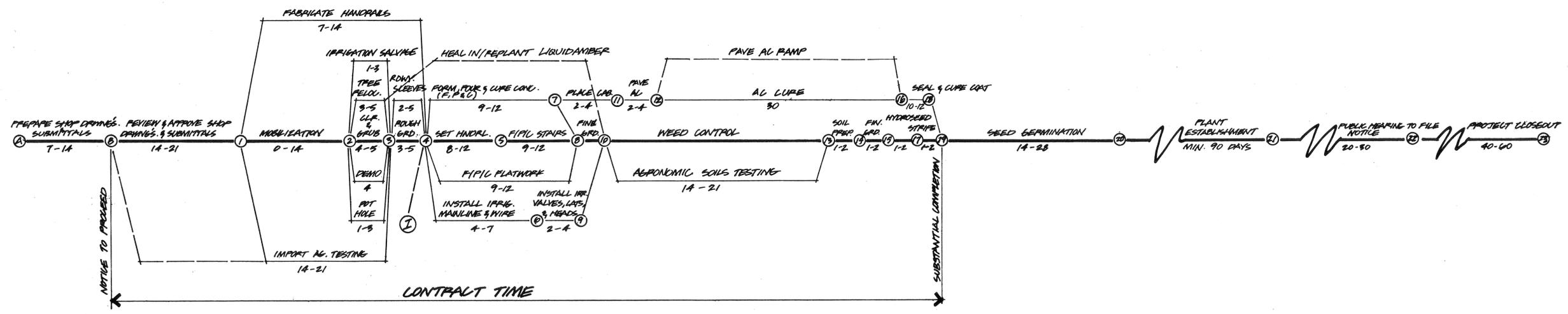
DRAWING **L-3**

CONSULTANT

REVISIONS	BY

DESIGNED **S.M.M.**
DRAWN **D.B.**
CHECKED **MM**
DATE **MAY 30, 1990**
SCALE **1"= 30'- 0"**
JOB NO. **89165.01**

SHEET **4**
OF SIX SHEETS



EQUIPMENT & FABRICATED MATERIALS

- ① HANDRAILS (SHOP DRAWINGS REQUIRED)
- ① FABRICATED SIGNS (SHOP DRAWINGS REQUIRED)

CONSTRUCTION PROGRESS DATES

□ = DATE SET BY CITY ○ = TARGET DATE ! = TRACKING DATE

- Ⓜ BID AWARDED BY COUNCIL.
- Ⓜ PRE-CONSTRUCTION MEETING.
- ① NOTICE TO PROCEED.
- 2 COMMENCE WORK.
- 3 BEGIN GRADING.
- ④ ACCEPTANCE OF ROUGH GRADES.
- 5 BEGIN FORMING STAIRS.
- ⑩ PRESSURE TEST MAINLINE.
- 7 CURB COMPLETED & CURED.
- ⑧ ALL CONCRETE WORK COMPLETED, ACCEPTED & CURED.
- ⑨ IRRIGATION OPERATIONAL TEST ACCEPTED.
- ⑩ FINE GRADE COMPLETE & ACCEPTED, COMMENCE WEED CONTROL.
- ⑪ BASE ACCEPTED, COMMENCE PAVING.
- ⑫ PAVING ACCEPTED.
- ⑬ WEED CONTROL COMPLETE, AL SOILS TEST COMPLETE, COMMENCE SOIL PREP.
- ⑭ SOIL PREP ACCEPTED.
- ⑮ FINISH GRADE ACCEPTED.
- ⑯ AL CURB PERIOD COMPLETE, COMMENCE SEAL COAT.
- ⑰ HYDROSEED ACCEPTED.
- ⑱ SEAL COAT CURB COMPLETE, COMMENCE STRIPING.
- ⑲ SUBSTANTIAL COMPLETION INSPECTION.
- 20 START PLANT ESTABLISHMENT INSPECTION (FOLLOWING FIRST MOWING).
- 21 FINAL ACCEPTANCE INSPECTION.
- 22 FILING NOTICE OF COMPLETION.
- 23 RETENSION RELEASE & PROJECT CLOSEOUT.

REID PARK SENIORS' PARKING LOT - CONSTRUCTION SCHEDULE

SENIORS PARKING LOT
 CITY OF RIVERSIDE PARKS & RECREATION DEPARTMENT
 3900 Main Street, Riverside, Ca. 92502 (714)787-7301

PROJECT: SENIORS PARKING LOT
 CLIENT: CITY OF RIVERSIDE

DRAWING: L-5

CONSULTANT:

REVISIONS	BY

DESIGNED: CITY OF RIVERSIDE
 DRAWN: CITY OF RIVERSIDE
 CHECKED:
 DATE: MAY 30, 1990
 SCALE:
 JOB NO: 89165.01

SHEET: **6**
 OF SIX SHEETS