

FIRE DAMAGE REPAIR

IZAAK WALTON CLUB

FAIRMOUNT PARK RIVERSIDE, CA

GENERAL NOTES:

1. CODE OF RECORD FOR DESIGN: 1997 IBC / 1998 CBC
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK, AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF DISCREPANCIES OR INCONSISTENCIES.
3. THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT REPRESENT THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING AND SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, CONSTRUCTION LOADS OF MATERIALS, ETC. THE CONTRACTOR, AT NO EXPENSE TO THE OWNER, SHALL RETAIN QUALIFIED PROFESSIONALS TO DETERMINE FIELD LAYOUT OF THE BUILDING ELEMENTS, AND THE ADEQUACY OF ALL PROPOSED BRACING AND SHORING.
4. OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE OBSERVATION OF SAFETY METHODS, BRACING OR SUPPORT.
5. PLAN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. DO NOT SCALE PLANS & DETAILS.
6. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND STANDARD DETAILS.
7. CLARIFICATION SHALL BE REQUESTED FROM THE ENGINEER FOR ALL WORK INDICATED ON THE PLANS THAT IS NOT SPECIFICALLY DETAILED, AND IS NOT SIMILAR TO WORK THAT IS DETAILED.
8. SEE EXISTING AND / OR OTHER PLANS FOR SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS. SIZE AND LOCATION OF ALL NON-BEARING PARTITIONS, SIZE AND LOCATION OF ALL CURBS, DRAINS, DERESSED AREAS, SLOPES AND ELEVATION CHANGES, CHAMBERS, GROOVES, INSERTS, ALL FINISHES, AND SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS.
9. SEE OTHER PLANS FOR ALL WATERPROOFING REQUIREMENTS. THE ENGINEER IS NOT RESPONSIBLE FOR WATERPROOFING DETAILS AND SPECIFICATIONS.
10. SEE MECHANICAL, PLUMBING, ELECTRICAL AND OTHER PLANS FOR PIPE RISERS, SLEEVES, HANGERS, TRENCHES, WALL AND SLAB OPENINGS, ELECTRICAL CONDUIT RUNS AND BOXES, OUTLETS, AND EQUIPMENT BASE ANCHOR BOLTS.
11. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAINED FLOORS OR ROOFS. LOADS SHALL NOT EXCEED DESIGN LOADING FOR SUPPORTING MEMBERS.

STRUCTURAL LUMBER

1. ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR COAST REGION AND SHALL BE IDENTIFIED AS REQUIRED BY PS 20-70 BY A GRADE MARK OF A LUMBER GRADING AGENCY APPROVED BY THE BOARD OF REVIEW OF THE AMERICAN LUMBER STANDARDS COMMITTEE.
2. ALL FRAMING MEMBERS SHALL BE AS FOLLOWS EXCEPT AS NOTED:

HORIZONTAL MEMBERS	
SUB-PURLINS (STIFFENERS)	D.F. #1
JOISTS AND BEAMS	D.F. #1
VERTICAL MEMBERS	
POSTS AND COLUMNS	D.F. #1
STILTS & SILL'S	D.F. #2
3. SILL PLATES AND LEDGERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR. ALL HOLES DRILLED FOR ANCHOR BOLTS SHALL BE NO LARGER THAN 1/16-INCH GREATER THAN THE ANCHOR BOLT DIAMETER. HOLES LARGER THAN THIS SHALL HAVE ALL VOID SPACE BETWEEN THE BOLT AND THE SILL PLATE FILLED WITH EPOXY.
4. FRAMING ANCHORS, HANGERS, STRAPS, COLUMN CAPS, CAGES AND HOLD DOWNS SHOWN ARE AS MANUFACTURED BY SIMPSON COMPANY, BREA, CA. DESIGNATIONS SHOWN ON THE DRAWINGS ARE FROM SIMPSON CATALOG C-2001.
5. PLYWOOD SHALL CONFORM TO THE STANDARDS IN PS 1-74 OR PS 1-89. ALL PANELS TO BE IDENTIFIED WITH A GRADE MARK OF AN APPROVED TESTING AND GRADING AGENCY. EXTERIOR GUE SHALL BE USED. NAILING OF PLYWOOD SHALL BE APPROVED PRIOR TO COVERING PLYWOOD.
6. ALL WALLS NOT SOLIDLY SHEATHED OR CONTAINING SHEAR PANELS SHALL HAVE A 1x6 DIAGONAL LET-IN OR APPROVED STEEL X BRACE AT THE ENDS AND AT NO MORE THAN 25' ON CENTER. BRACE SHALL EXTEND FROM BOTTOM OF LOWEST PLATE TO TOP OF UPPER PLATE.
7. ALL STUD PARTITIONS OR WALLS OVER 10-FEET IN HEIGHT SHALL HAVE 2X BLOCKING, SAME WIDTH AS STUDS, PERFORMABLY AT MID-HEIGHT BUT NOT TO EXCEED 8-FEET ON CENTER VERTICALLY.
8. DO NOT NOTCH JOISTS, RAFTERS OR BEAMS EXCEPT WHERE SHOWN ON THE DETAILS. HOLES THROUGH SILL'S, PLATES, STILTS AND DOUBLE PLATES IN WALLS SHALL NOT EXCEED 1/3 OF THE PLATE WIDTH. USE BORED HOLES LOCATED IN CENTER OF MEMBER OR USE METAL STRAP ON NEAR SIDE. NO HOLES PERMITTED IN STILTS, SILL PLATES OR TOP PLATES OF SHEAR PANELS WITHOUT EXPRESSED APPROVAL.
9. PROVIDE APPROVED X BRIDGING OR SOLID BLOCKING FOR BEAMS, RAFTERS AND JOISTS OF MORE THAN EIGHT INCHES DEPTH AT NO MORE THAN EIGHT FEET ON CENTER.
10. BOLTS IN WOOD SHALL BE NOT LESS THAN 7 BOLT DIAMETERS FROM END AND 4 BOLT DIAMETERS FROM EDGES UNLESS NOTED. BOLT HOLES SHALL BE 1/32" LARGER THAN THE BOLT SIZE.
11. LAG BOLTS SHALL HAVE LEAD HOLES BORED. HOLE DIAMETER TO BE: A. SHANK PORTION: SAME DIAMETER AND LENGTH AS SHANK. B. THREADED PORTION: 0.8-0.75 TIMES DIAMETER OF THREAD.
12. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE 'COMMON'.
13. HOLES FOR NAILS, THAT ARE NECESSARY TO PREVENT SPLITTING SHALL BE PRE DRILLED AT A SMALLER DIAMETER THAN THE NAIL.
14. PASTERIES AND HARDWARE EXPOSED TO MOISTURE OR PRESSURE / CHEMICALLY TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED.
15. INSTALL STEEL PLATE WASHERS UNDER BOLT HEADS AND NUTS. WASHERS TO HAVE A MINIMUM SIZE AS INDICATED IN THE ATTACHED BOLT WASHER SCHEDULE.
16. DOUBLE TOP PLATES AT ALL EXTERIOR WALLS AND ALL BEARING PARTITIONS (NOT OTHERWISE DETAILED) SHALL LAP 4'-0" MINIMUM THROUGH EACH SIDE OF SPLICE IN PLATES & HAVE 3-16d NAILS MINIMUM THROUGH BOTH PLATES.
17. UNLESS NOTED OTHERWISE, DOUBLE JOISTS SHALL BE PROVIDED UNDER PARTITION WALLS WHERE WALL IS PARALLEL TO THE FRAMING.
18. LEDGER ANCHOR BOLT SPACING SHALL BEGIN FROM THE END OF A WALL NOT LESS THAN 7-INCHES AND NOT MORE THAN 12-INCHES, AND SHALL NOT EXCEED 4-FEET ON CENTER BETWEEN THE ENDS, AND THERE SHALL BE A MINIMUM OF 2-ANCHOR BOLTS IN EACH SEPARATE PIECE OF LEDGER.

NAILING SCHEDULE

- ALL NAILING SHALL BE COMMON WIRE NAILS CONFORMING TO THE LATEST EDITION OF THE U.S.C. WHERE AUTOMATIC NAILING IS USED. NAIL HEADS SHALL NOT PENETRATE PLYWOOD SHEATHING. CONNECTIONS LISTED ARE MINIMUM PERMISSIBLE. DETAILS GOVERN SCHEDULE.
- A. JOIST TO SILL OR GORDER. TOE NAIL EACH SIDE
 - B. BRIDGING TO JOIST OR RAFTER. TOE NAIL EA. END
 - C. SLIP FLOOR SHEATHING AT ALL BEARINGS
 1x6 OR LESS, FACE NAIL
 1x8 OR WIDER, FACE NAIL
 2x BLIND OR FACE NAIL
 - D. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL
 - E. TOP PLATE TO STLD, END NAIL
 - F. STLD TO SOLE PLATE, TOE NAIL
 - G. DOUBLE STILDS, FACE NAIL
 - H. DOUBLE TOP PLATES, FACE NAIL
 - I. TOP PLATES, LAP AND INTERSECTIONS, FACE NAIL
 - J. CONTINUOUS HEADER, 2 PIECES, EA. SIDE
 - K. CEILING JOISTS OR RAFTERS EACH BRG, TOE NAIL
 - L. CONTINUOUS HEADER TO STLD, TOE NAIL
 - M. CEILING JOISTS, LAP OVER PARTITIONS, FACE NAIL
 - N. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL
 - O. RAFTER TO PLATE, TOE NAIL
 - P. 1" BRACE TO EACH STLD AND PLATE, FACE NAIL
 - Q. BUILD-UP CORNER STILDS
 - R. JOIST OR RAFTER TO SIDE OF STILDS UP TO 8' DEPTH FOR EACH ADDITIONAL 4" DEPTH OR LESS
5. CONTINUOUS STRIPS
- 1x4 TO UNDERSIDE OF JOISTS, EACH BEARING, ONE SLANT, ONE STRAIGHT
 - 2x8 TO UNDERSIDE OF JOISTS, EACH BEARING, ONE SLANT, ONE STRAIGHT
- USE ONE STRONGHOLD ANNUAL GROOVED AT GYPSUM BOARD AND PLASTER CEILINGS STRIPS SUPPORTING PLASTER CEILINGS SHALL BE WIRED IN PLACE IN ADDITION TO NAILING.
1. BUILT-UP BEAMS
 2x10 OR LESS, STAGGERED, TOP AND BOTTOM AT ENDS
 2x12 AND LARGER (STAGGERED)

BOLT WASHER SCHEDULE

1. WASHERS SHALL BE USED UNDER THE HEADS AND NUTS OF ALL BOLTS BEARING ON WOOD. THE WASHERS LISTED BELOW SHALL BE USED IN THE FOLLOWING LOCATIONS:
 A. WALL TO FOUNDATION SILL PLATES
 B. WOOD LEDGERS TO CONCRETE AND MASONRY WALLS
 C. AGAINST A 2X-MEMBER WHEN 2X IS BOLTED TO A LARGER MEMBER, OR IS USED AS PART OF A BUILT-UP BEAM.
 D. STANDARD CLIP WASHERS MAY BE USED ELSEWHERE UNLESS NOTED ON PLANS.
- | BOLT SIZE | SQUARE STEEL | ROUND STEEL | ROUND MALLEABLE IRON |
|-----------|-----------------------|---------------|----------------------|
| 1/2" | 2 1/2 X 2 1/2 X 3/16" | 2 1/4 X 3/16" | 2 1/2 X 1 1/4" |
| 3/8" | 2 1/2 X 2 1/2 X 1/4" | 2 3/4 X 1/4" | 2 1/2 X 7/16" |
| 3/4" | 3 X 3 X 1/4" | 3 X 5/16" | 3 X 7/16" |
| 7/8" | 3 1/2 X 3 1/2 X 3/16" | 3 1/2 X 3/8" | 3 1/2 X 7/16" |
| 1" | 4 X 4 X 3/8" | 4 X 7/16" | 4 X 7/16" |

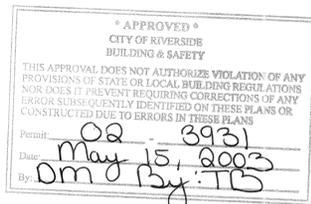
RETROFIT NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS BIDDING ON THIS PROJECT SHALL BECOME FAMILIAR WITH THESE PLANS, AND VISIT THE SITE AND EXAMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. CONTRACTORS AND SUBCONTRACTORS AGREE AND ACKNOWLEDGE THEIR KNOWLEDGE OF THESE PLANS AND THE VISIBLE EXISTING CONDITIONS BY SUBMITTING THEIR BIDS.
2. THERE COULD BE MANY CONSTRUCTION ITEMS THAT ARE HIDDEN FROM VIEW AT AN EXISTING / RETROFIT CONSTRUCTION SITE THAT COULD INTERFERE WITH WORK, INCLUDING BUT NOT LIMITED TO:
 A. COVERED OR HIDDEN STRUCTURAL MEMBERS AND RELATED CONNECTIONS.
 B. PIPES AND CONDUITS BURIED IN THE SOIL AND IN THE STRUCTURE.
 C. DEBRIS BURIED IN THE SOIL AND IN THE STRUCTURE.
 D. UNDISCOVERED AND UNANTICIPATED SOILS CONDITIONS.
 WHEN THE CONTRACTOR ENCOUNTERS HIDDEN CONDITIONS THAT INTERFERE WITH WORK, HE SHALL CEASE WORK IN THAT AREA AND NOTIFY THE OWNER AND PROJECT ENGINEER. HE SHALL NOT PROCEED AGAIN UNTIL CLARIFICATION IS ISSUED.
3. THESE RETROFIT PLANS REPRESENT THE FINAL CONDITION OF STRUCTURAL REPAIRS OR MODIFICATIONS. THEY DO NOT INDICATE OTHER RELATED NON-STRUCTURAL REPAIRS NECESSARY TO ACCOMPLISH THE STRUCTURAL REPAIRS. THE CONTRACTOR, AFTER HIS SITE EXAMINATION, SHALL NOTE ALL VISIBLE RELATED NECESSARY REPAIRS AND REPLACEMENTS AND INCORPORATE THEM INTO HIS BID.
4. THE ARCHITECTURAL APPEARANCE OF THE INTERIOR AND EXTERIOR OF THE BUILDING AFTER THE RETROFIT SHALL BE EQUIVALENT TO OR BETTER THAN THE APPEARANCE PRIOR TO THE RETROFIT.
5. THE CONTRACT WORK SHALL NOT BE CONSIDERED COMPLETED UNTIL THE OWNER IS SATISFIED THAT ALL REPAIR OR REPLACEMENT WORK IS ACCEPTABLE.

FIRE DAMAGE REPAIRS

1. CHARRED LUMBER SHALL BE REMOVED AND REPLACED EXCEPT WHERE SPECIFIED TO REMAIN IN PLACE. IF SPECIFIED TO REMAIN IN PLACE, IT SHALL BE SCRAPED OR LIGHTLY SAND BLASTED TO CLEAN, FREE OF CHAR AND DEODORIZED. AFTER THE CHARRED AREA IS CLEANED AND MEMBERS EXPOSED, IF ANY DAMAGE NOT NOTED ON THESE PLANS IS FOUND, IT SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER.
2. HORIZONTAL JOISTS WHERE CHAR EXISTS MUST BE PROPERLY REPLACED (OR STRENGTHENED BY ADDING SISTER MEMBERS NEXT TO THE EXISTING JOIST ONLY IF STATED ON PLANS).
3. ALL FIXTURES AND FINISHES MUST BE PROPERLY RESTORED TO PRE-FIRE CONDITION.
4. DEODORIZATION OF ALL REMAINING MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. DEODORIZATION SHALL INCORPORATE ALL PROPRIETARY AND STANDARD METHODS REQUIRED TO COMPLETELY REMOVE ALL ODORS LEFT BY FIRE.

ENGINEER TO PROVIDE A WRITTEN REPORT OF COMPLETION + FINDINGS TO BUILDING INSPECTOR PRIOR TO THE FRAMING INSPECTION.



SCOPE OF RECONSTRUCTION (CONTINUED)

- INTERIOR**
- CLEAN AND DEODORIZE ALL SURFACES INCLUDING PLASTER WALLS, CONCRETE FLOOR, WOOD FLOORS, HARD LID CEILINGS, FIREPLACE, DOORS, CABINETS, BATHROOM ACCESSORIES AND FIXTURES, AND UNDERSIDE OF ROOF STRUCTURE. REMOVE SMOKE OFF VARIOUS SURFACES THAT ARE TO REMAIN- INCLUDING STEEL, WOOD, GLASS AND PLASTICS.
- EXTERIOR**
- CLEAN ALL EXTERIOR PORTIONS OF BUILDING EXPOSED TO SMOKE, INCLUDING WOOD SIDING, BRICK, WINDOWS, MESH, AND DOORS.
- SECURITY GRILLES**
- REPLACE STEEL FRAMED MESH PROTECTION ON SOUTH WALL WINDOWS.
- ROUGH CARPENTRY**
- REPLACE MEMBERS DETERMINED AS NON-RESTORABLE
- ROOFING**
- REMOVE AND REPLACE ENTIRE ROOF WITH CLASS A COMPOSITION SHINGLE ROOF - PROVIDE WARRANTY.
- DOORS**
1. CHECK SWING OF ALL DOORS AND REALIGN AS REQUIRED.
 2. REPAIR JAMB AND DOOR ON SOUTH ELEVATION - DAMAGED BY FIRE DEPARTMENT.
- WINDOWS**
- REPLACE STEEL WINDOWS ALONG SOUTH WALL WITH NEW.
- PAINTING**
1. INTERIOR PAINT OR STAIN (ALL SURFACES)
 - ALL WOOD DOORS, TRIM AND JAMB
 - ALL PLASTER CEILINGS AND WALLS
 - ALL WOOD BASEBOARDS AND CROWN MOLDING
 - KITCHEN CABINETS / SHELVING - INSIDE AND OUT
 - WOOD LOG POLES
 - MEETING ROOM CABINETS - INSIDE AND OUT
 - EXPOSED CEILING FRAMING MEMBERS
 - UNDERSIDE OF ROOF SHEATHING
 2. EXTERIOR PAINT OR STAIN
 - PAINT ALL SOUTH ELEVATIONS
 WOOD FLOOR REPAIR, STAIN, AND FINISHING
 REPAIR WOOD FLOOR IN AREAS OF BURN. FINISH FLOORING TO MAINTAIN MATCHING CONSISTANCY THROUGHOUT.
 CARPET CLEANING AND DEODORIZATION
 CLEAN CARPET IN MEETING ROOMS #2 AND #3
- APPLIANCES**
1. DETACH AND RESET KITCHEN APPLIANCES AS NECESSARY TO CLEAN AND PAINT WALLS AND FLOORS.
 2. CLEAN AND DEODORIZE APPLIANCES.
- HVAC**
- INSTALL NEW AIR CONDITIONING SYSTEM COMPARABLE TO PRE-EXISTING WITH ASSOCIATED DUCTWORK.
- ELECTRICAL**
1. CHECK SYSTEM - CONTRACTOR PROVIDE LETTER TO INSPECTOR
 2. PROVIDE NEW POWER FOR OUTLETS AND LIGHTING IN AREA OF SEVERE BURN (SOUTH PORTION AND CEILING). REPLACE OUTLET BOXES WHERE DAMAGED.
 3. REPLACE CEILING HUNG FIXTURES - (18) 2-TUBE, 4' FLUORESCENT FIXTURES
 4. RESTORE PHONE AND ALARM SYSTEM.
- MISCELLANEOUS**
- REMOVE AND REPLACE ACCESSORIES AS NEEDED TO PERFORM REPAIRS AND PAINTING OF ALL SURFACES. SUCH ITEMS INCLUDE BULLETIN BOARD, DRAPERY RODS, AND MISCELLANEOUS FURNISHINGS AND ATTACHMENTS.

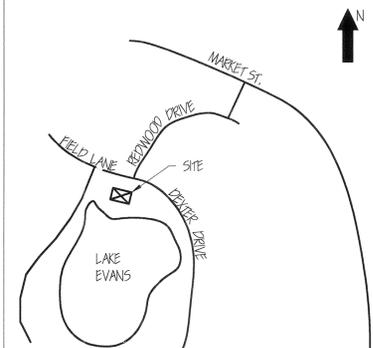
DOWELS / ANCHORS EMBEDDED IN EPOXY

1. DOWELS AND ANCHORS EMBEDDED IN EPOXY SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
2. CORRECT IMPLEMENTATION OF THE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE VERIFIED BY A SPECIAL INSPECTOR.
3. ONLY NON-REPAIR-CUTTING DRILL BITS SHALL BE USED TO DRILL HOLES IN EXISTING CONCRETE.
4. DOWEL OR ANCHOR EMBEDMENT SHALL BE VERIFIED AND DOCUMENTED BY THE SPECIAL INSPECTOR.
5. DRILL HOLES SHALL BE CLEANED OF CONCRETE OR MASONRY DUST AND DEBRIS USING OIL-FREE COMPRESSED AIR AND A WIRE BRUSH FOR CONCRETE AND CONCRETE MASONRY UNIT (CMU) SUBSTRATES. A BLOW-OUT BALL MAY NOT BE USED IN LIEU OF COMPRESSED AIR. CLEANLINESS OF DRILL HOLES SHALL BE VERIFIED AND DOCUMENTED BY A SPECIAL INSPECTOR.
6. ACCEPTABLE EPOXY ANCHOR SYSTEM:

MANUFACTURER	CONCRETE	CMU GROUTED	CMU HOLLOW	BRICK MASONRY	URM
SIMPSON 1/2" EPOXY C/O BR 5279 COLA BR 2919	•	•	•	•	•
HELT 1/2" EPOXY C/O BR 4016 COLA BR 24597	•	•	•	•	•
HELT 1/2" COY ADHESIVE C/O BR 4016 COLA BR 24597	•	•	•	•	•
HELT 1/2" COY ADHESIVE C/O BR 4016 COLA BR 24597	•	•	•	•	•
COVER 3/8" 3000" C/O BR 4846	•	•	•	•	•

BUILDING DATA

1. OCCUPANCY: A-3
2. TYPE OF CONSTRUCTION: IV
3. TOTAL FLOOR AREA: 2141 sq.ft.
4. STORES / HEIGHT: 1
5. OWNER'S NAME / PHONE NUMBER:
CITY OF RIVERSIDE
GENE LIGHT / 909-826-5895

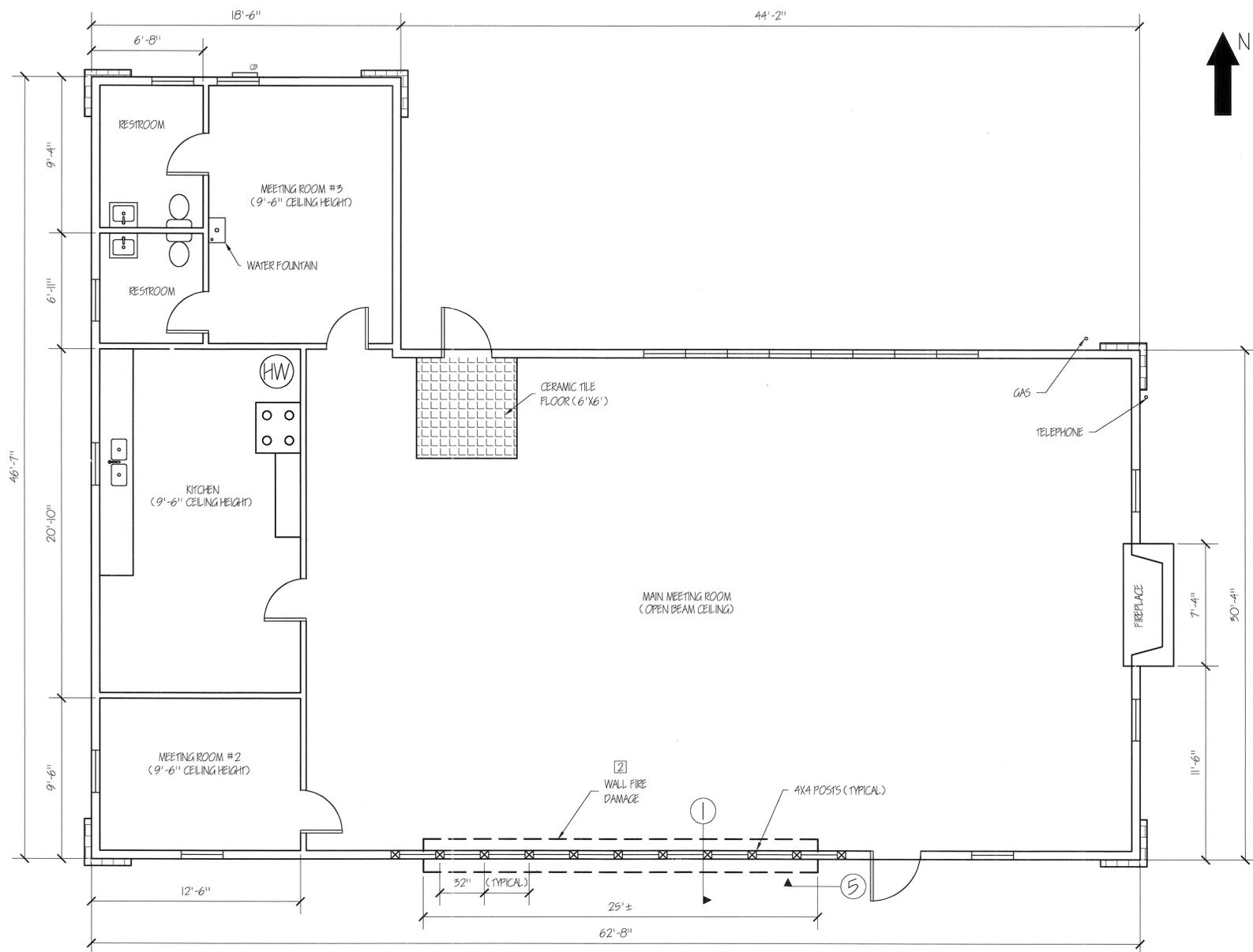


VICINITY MAP
N.T.S.



<p style="writing-mode: vertical-rl; transform: rotate(180deg);">FIRE DAMAGE REPAIR IZAAK WALTON CLUB - FAIRMOUNT PARK DEER DRIVE RIVERSIDE, CA 2710</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">Steven C. Helfrich & Associates Engineering and Construction Consulting 30640 Kustin Court • Redlands, CA 92373 (909) 389-7316 fax (909) 389-7326</p>
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DATE	10/25/01
SCALE	1/4" = 1'-0"
DRAWN BY:	R. GUILFORD
JOB NO.	011006
SHEET	1 of 3



FLOOR PLAN
SCALE: 1/4" = 1'-0"

FINISHES	
EXTERIOR WALLS:	HORIZONTAL WOOD SIDING
INTERIOR WALLS:	DRYWALL
CEILING:	OPEN IN MAIN MEETING ROOM DRYWALL IN KITCHEN, RESTROOMS, MEETING ROOMS #2 AND #3.
FLOORS:	CARPET IN MEETING ROOMS PAINTED CONCRETE IN KITCHEN AND BATHROOMS.

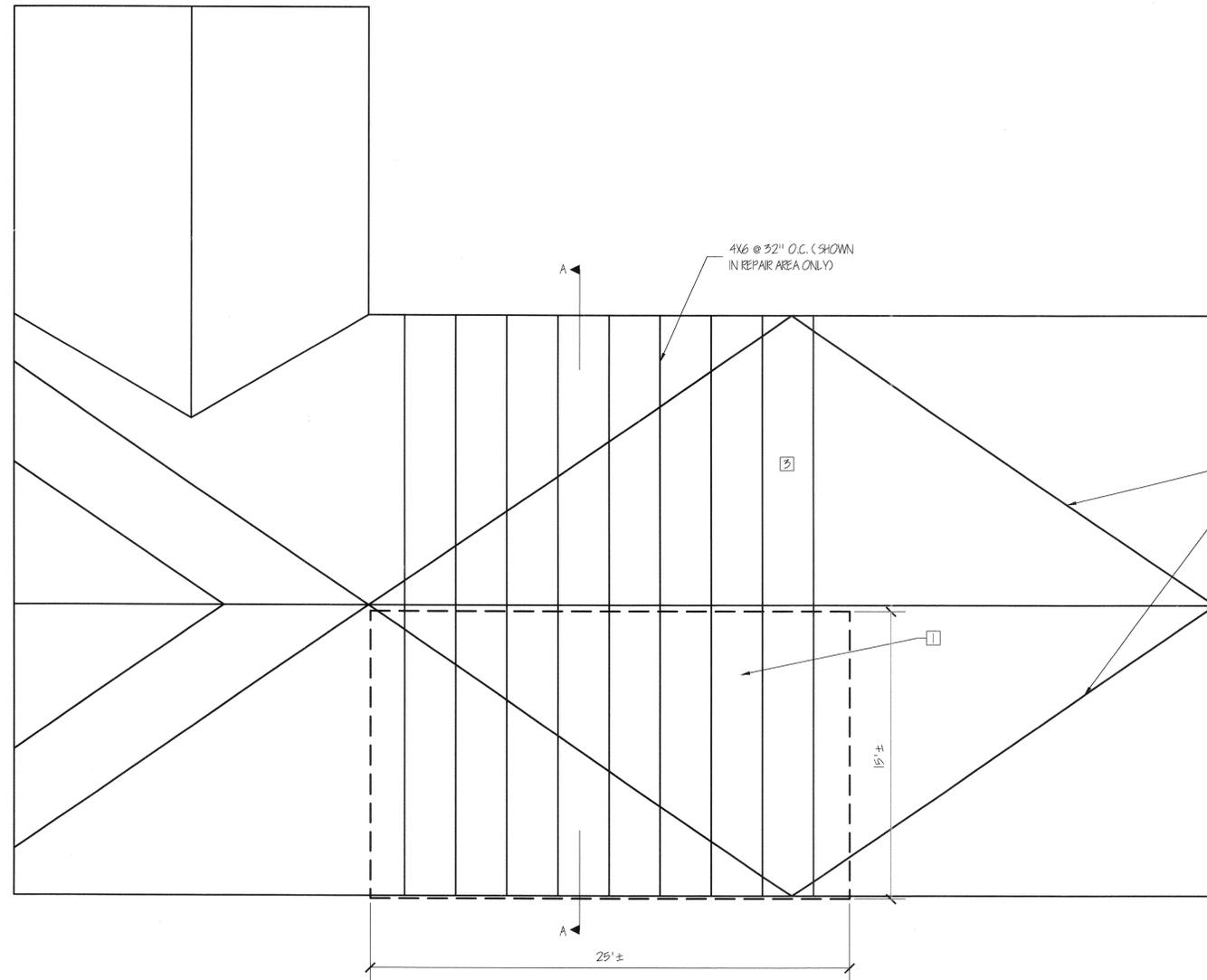


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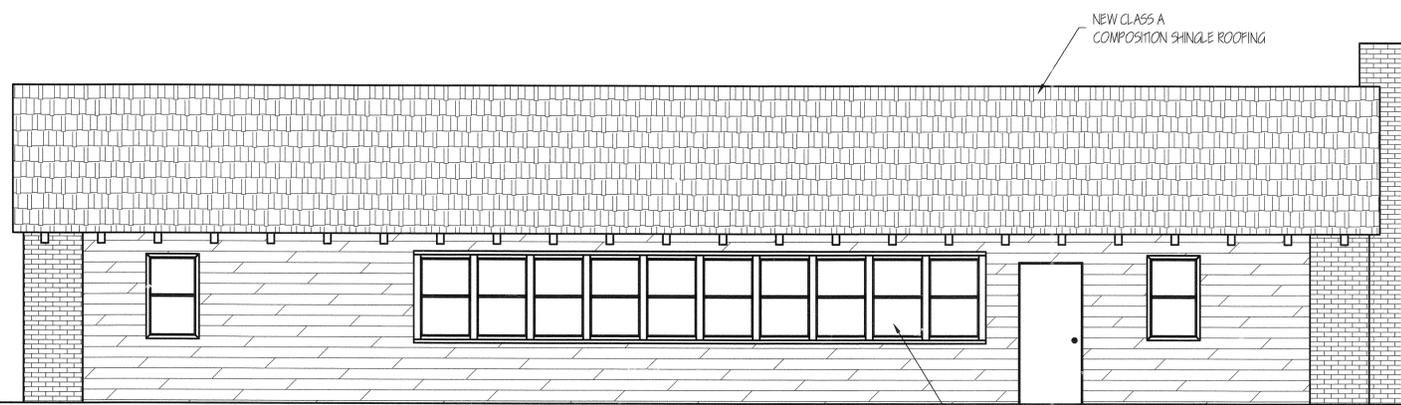
FIRE DAMAGE REPAIR
IZAK WATSON CLIP - FARMOUNT PARK
PEPPER DRIVE
RIVERSIDE, CA
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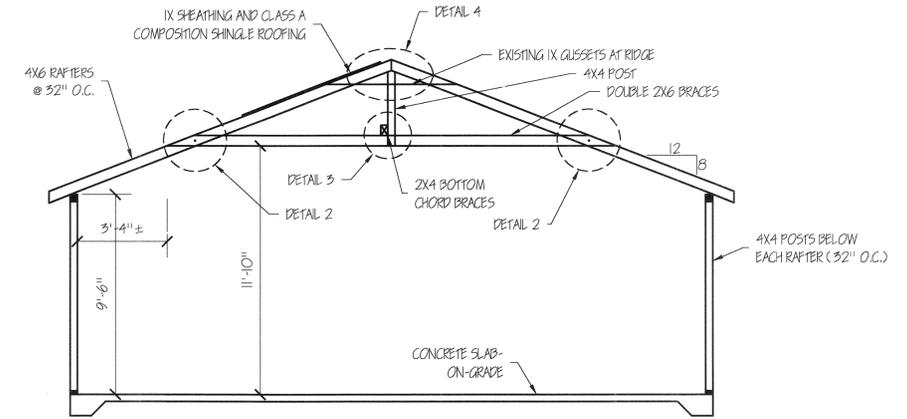
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SCALE: 1/4" = 1'-0"
DRAWN BY: R. GULLFORD
JOB NO.: 011006
SHEET: 2 OF 3



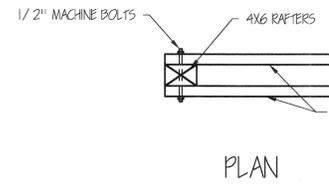
ROOF PLAN
SCALE: 1/4" = 1'-0"



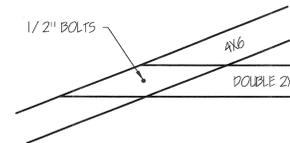
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



ROOF SECTION A-A
SCALE: 1/4" = 1'-0"

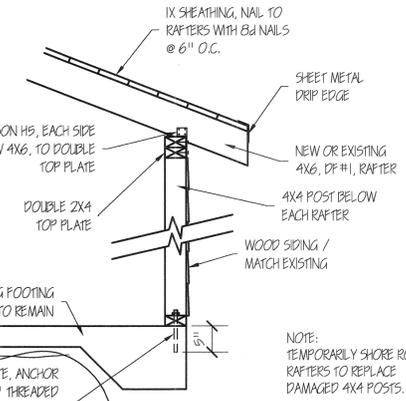


PLAN



SECTION

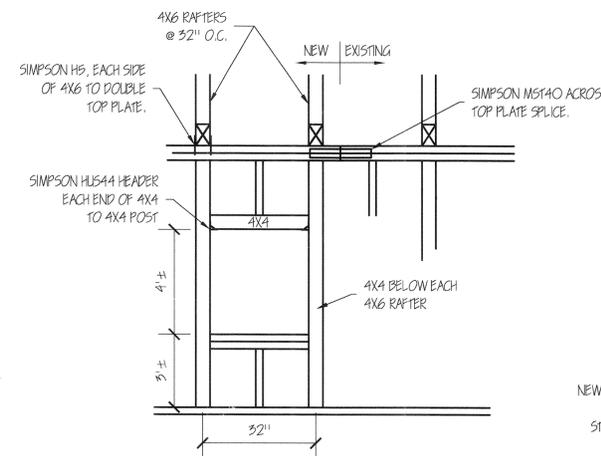
DETAIL 2
N.T.S.



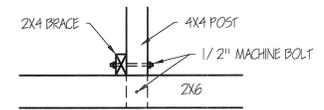
DETAIL 1
N.T.S.

TREATED 2x4 PLATE, ANCHOR TO FOUNDATION WITH 5/8" THREADED ROD @ 4' O.C., INSTALL IN DRILLED HOLES, USING SIMPSON SET EPOXY.

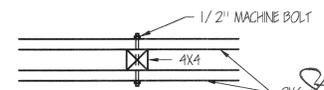
NOTE: TEMPORARILY SHORE ROOF RAFTERS TO REPLACE DAMAGED 4x4 POSTS.



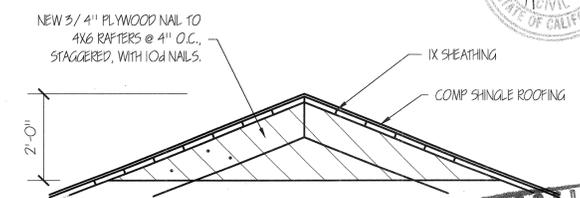
DETAIL 2
(TOP PLATE SPLICE AND WALL FRAMING)
N.T.S.



SECTION



PLAN
DETAIL 3
N.T.S.



DETAIL 4
N.T.S.



REVISIONS	BY

FIREFIT DAMAGE REPAIR
12444 WILSON CLIP - FARMGROVE PARK
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DATE	10/25/01
SCALE	1/4" = 1'-0"
DRAWN BY	R. GUILFORD
JOB NO.	011006
SHEET	3
	3 of 3